



# Your Inspection Report

[REDACTED]  
Tallahassee, FL 32303



**PREPARED FOR:**



**INSPECTION DATE:**

Monday, April 29, 2024

**PREPARED BY:**

John Kreiensieck, HI11039



Boom-Gen Home Inspections  
8265 Sierra Woods Drive  
Tallahassee, FL 32311

8506317238

[www.boomgenhome.com](http://www.boomgenhome.com)  
[jbk2904@gmail.com](mailto:jbk2904@gmail.com)

Every Home speaks: We listen to each story so your dream home doesn't end up being just a fairytale.



April 29, 2024

Dear [REDACTED],

RE: Report No. 3105

[REDACTED]  
Tallahassee, FL  
32303

Thanks very much for choosing us to perform your home inspection. The inspection itself and the attached report comply with the requirements of the Standards of Practice of our national Association. This document defines the scope of a home inspection.

Clients sometimes assume that a home inspection will include many things that are beyond the scope. We encourage you to read the Standards of Practice so that you clearly understand what things are included in the home inspection and report.

The report has been prepared for the exclusive use of our client. No use by third parties is intended. We will not be responsible to any parties for the contents of the report, other than the party named herein .

The report is effectively a snapshot of the house, recording the conditions on a given date and time. Home inspectors cannot predict future behavior, and as such, we cannot be responsible for things that occur after the inspection. If conditions change, we are available to revisit the property and update our report but additional charges may apply.

The report itself is copyrighted, and may not be used in whole or in part without our express written permission.

Again, thanks very much for choosing us to perform your home inspection.

Sincerely,

John Kreiensieck  
on behalf of  
Boom-Gen Home Inspections

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## INVOICE

April 29, 2024

Client: [REDACTED]

Report No. 3105

For inspection at:

[REDACTED]

Tallahassee, FL

32303

on: Monday, April 29, 2024

Home inspection :

\$385.00

Total

\$385.00

PAID IN FULL - THANK YOU!

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# SUMMARY OF PRIORITY CONCERNS

Report No. 3105

Tallahassee, FL April 29, 2024

[www.boomgenhome.com](http://www.boomgenhome.com)

SUMMARY O

ROOFING

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This Summary outlines potentially significant issues from a cost or safety standpoint. This section is provided as a courtesy and cannot be considered a substitute for reading the entire report. Please read the complete document.

[Priority Maintenance Items](#)

## Roofing

### GENERAL \ General Photos

**Condition:** • Satisfactory Rating 8 -10 = Roofing materials are in acceptable condition and are either new or within the 1st quarter of life expectancy or wearing normally with no defects observed

Adequate Rating 6 - 8 = While the roof materials were in overall adequate condition , the Roof was showing normal wear consistent with the age of the home or installation date. Areas included some granular loss and or exposed felt of the shingles edges in various locations. Metal Roofs may need routine maintenance or showing signs or normal wear. Consult a licensed roofer for a more detailed preventative maintenance program

Marginal Rating 3 - 5 = The roof materials were in overall marginal condition. The Roof was showing normal wear consistent with the age of the home or installation date but also have some damage or deterioration that will need minor maintenance and/or repairs. Areas included some granular loss and or broken/missing shingles and or exposed felt of the shingles edges in various locations. Metal Roofs may have deck screws loose or backing out, rusted or improper flashing/caulking and exposed seamed edges. Roof coverings will need maintenance & repairs. Consult a licensed roofer for Repairs. In some cases this condition will be an obstacle in obtaining homeowners insurance

Poor Rating 0 - 3 = The roof materials were in overall poor condition and either have reached the end of useful life expectancy or has damaged or leak conditions which may require complete replacement. In Most cases this condition will be an obstacle in obtaining homeowners insurance

**Implication(s):** Rating Scale

### OVERALL CONDITION \ Roofing

**Condition:** • Adequate Rating 6 - 8 = While the roof materials were in overall adequate condition , the Roof was showing normal wear consistent with the age of the home or installation date. Areas included some granular loss and or exposed felt of the shingles edges in various locations. Metal Roofs may need routine maintenance or showing signs or normal wear. Consult a licensed roofer for a more detailed preventative maintenance program

Roof Installed [2011 ] with Est [8-10] Remaining Life Expectancy

### SLOPED ROOFING \ Shingle or metal Condition

**Condition:** • Granule loss is an indication of roof shingle wear. Excessive amounts can be an indication of nearing the end of useful life expectancy and may be an obstacle in obtaining homeowners insurance

**Implication(s):** Chance of water damage to structure, finishes and contents



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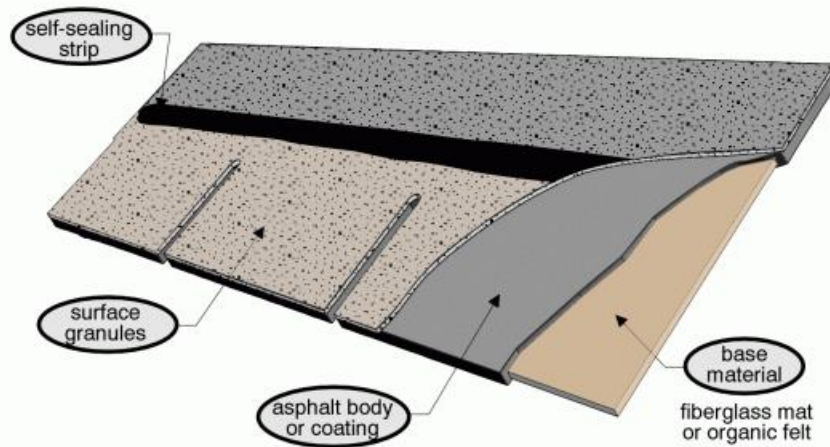
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## Asphalt shingle composition



1. Granule loss is an indication of roof...



2. Granule loss is an indication of roof...

**Condition:** • Debris/moss

**Implication(s):** Shortened life expectancy of material

**Location:** Various Roof

**Task:** Soft wash roof maintenance

**Time:** Next Annual Maintenance

**Cost:** Regular maintenance item

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3. Debris/moss



4. Debris/moss

## Exterior

### ROOF DRAINAGE \ Gutters System Performance

**Condition:** • Gutter discharge 4-6 feet from building or foundation can greatly reduce the chance of water collection at the foundation and opportunities for settlement

Gutter downspout extensions can greatly reduce water collection and intrusion into the Crawlspace which can reduce mold and mildew growth. For foundation structures; can reduce the likelihood of soil erosion at the foundation and settlement cracks

**Location:** Various Exterior Wall

**Task:** DIY Skill Level - Improve protect

**Time:** As soon as practical

**Cost:** Minor



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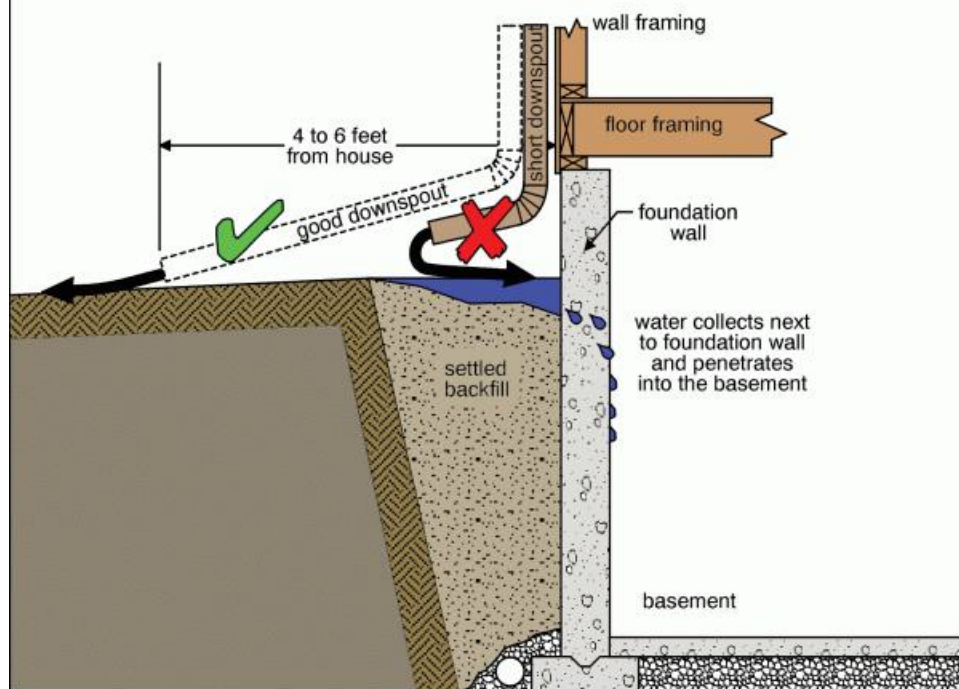
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## Downspout extension too short



5. Gutter discharge 4-6 feet from building or...

**Condition:** • Damage

**Location:** Rear exterior

**Task:** Gutter Contractor - Repair or replace

**Time:** As soon as practical

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6. Damage

**Condition:** • [Leak](#)

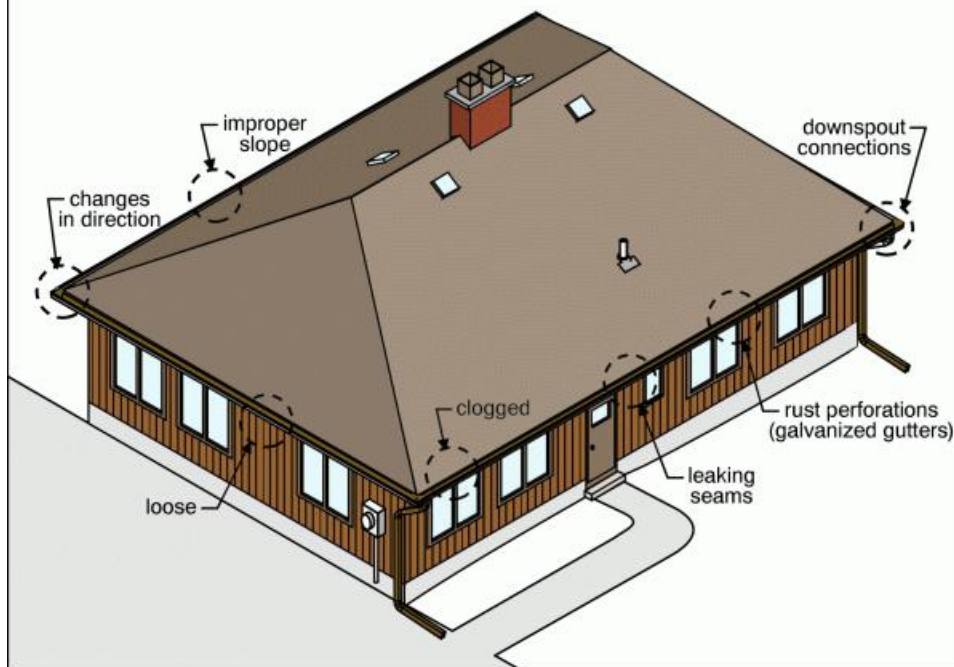
**Implication(s):** Chance of water damage to structure, finishes and contents

**Location:** Various gutters

**Task:** Gutter contractor - repair/replace

**Time:** As soon as practical

## Gutters - common reasons for leakage





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7. Leak

## WALLS \ Soffits (underside of eaves) and fascia (front edge of eaves)

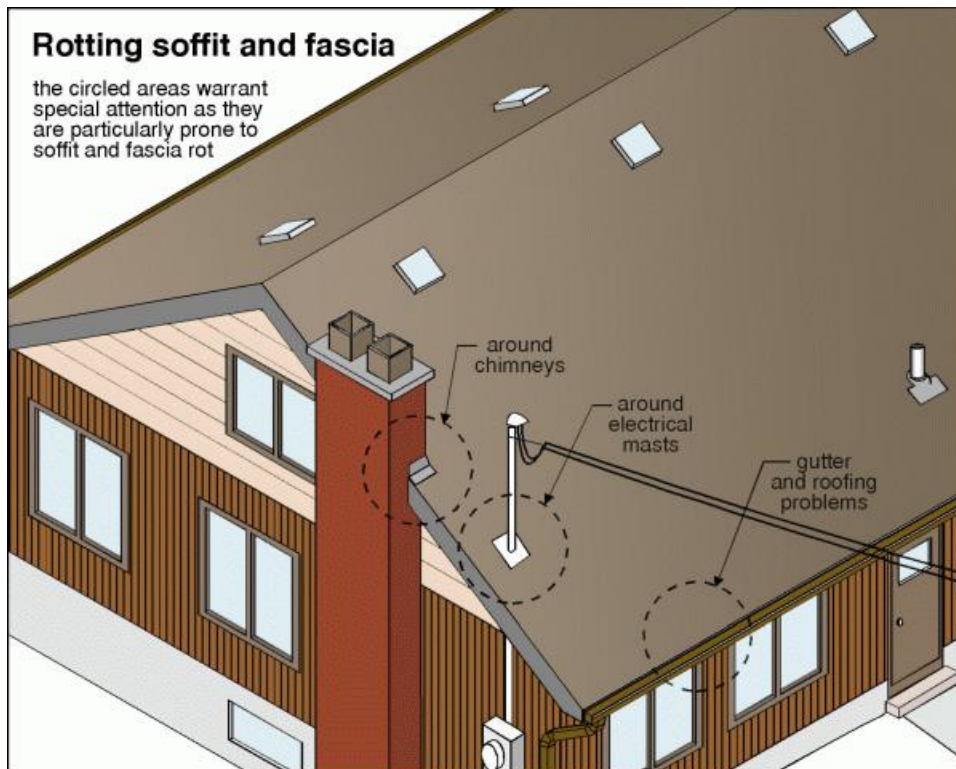
**Condition:** • Observed wood rot or Detected above normal levels of moisture with damage to wood material or noted damage/wood rot/insect damage noted in various locations, Recommend repairing or replacing water moisture damage or wood rot sections to prevent further water intrusion.

**Implication(s):** Chance of water damage to structure, finishes and contents | Material deterioration

**Location:** Right side exterior

**Task:** Handyman Skill Level - Repair or replace as required

**Time:** As soon as practical - To prevent water intrusion



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8. Observed wood rot or Detected above normal...

## WALLS \ Flashings and caulking

**Condition:** • Marginal

Recommend caulking at all seams and penetrations around doors and windows to prevent water intrusion

**Location:** Various exterior

**Task:** DIY Skill Level - Handyman Skill Level - Repair Protect

**Time:** As soon as practical - To prevent water intrusion



9. Marginal



10. Marginal

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11. Marginal



12. Marginal



13. Marginal



14. Marginal



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15. Marginal



16. Marginal

## WALLS \ Wall Siding Condition

**Condition:** • [Too close to grade](#)

**Implication(s):** Chance of water damage to structure, finishes and contents | Material deterioration | Rot | Insect damage

**Location:** Right side Exterior Wall

**Task:** DIY Skill Level - Handyman Skill Level - Improve

**Time:** [Next Annual Maintenance](#)

**Cost:** Regular maintenance item

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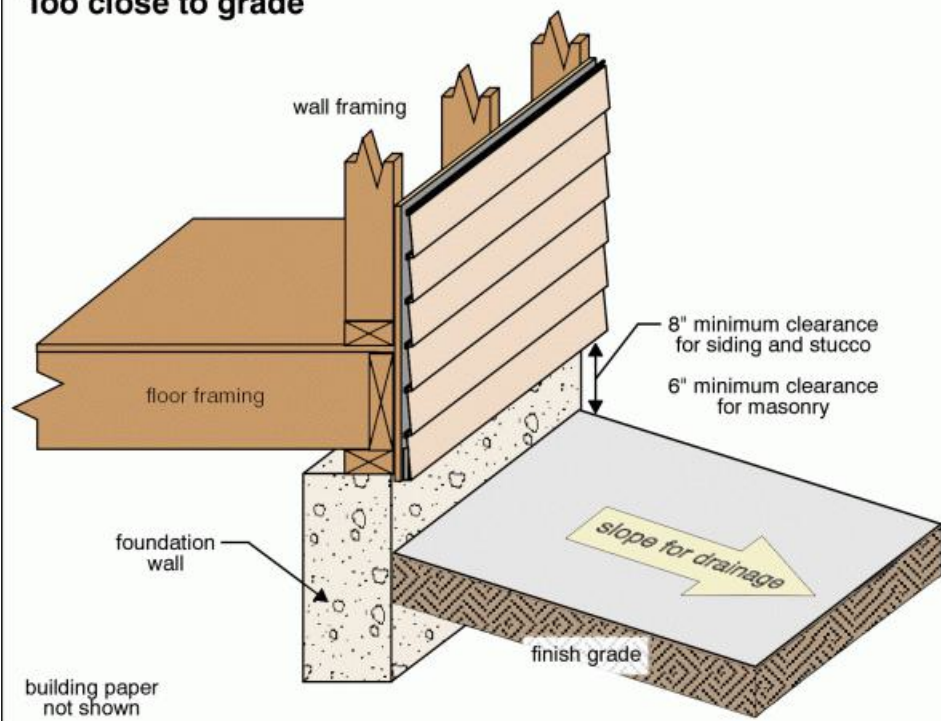
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## Too close to grade



17. Too close to grade



18. Too close to grade

**Condition:** • [Cracked, split or broken](#)

**Implication(s):** Chance of water damage to structure, finishes and contents

**Location:** Rear exterior

**Task:** Handyman Skill Level - Repair

**Time:** [When necessary](#)

**Cost:** Depends on approach

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19. Cracked, split or broken

## DOORS \ Hardware

**Condition:** • Double Key Deadbolt noted. This can create a safety or fire egress concern.

Possible Safety or Fire egress concern

**Implication(s):** Recommend replacing deadbolt with a single key deadbolt

**Location:** Both exterior doors

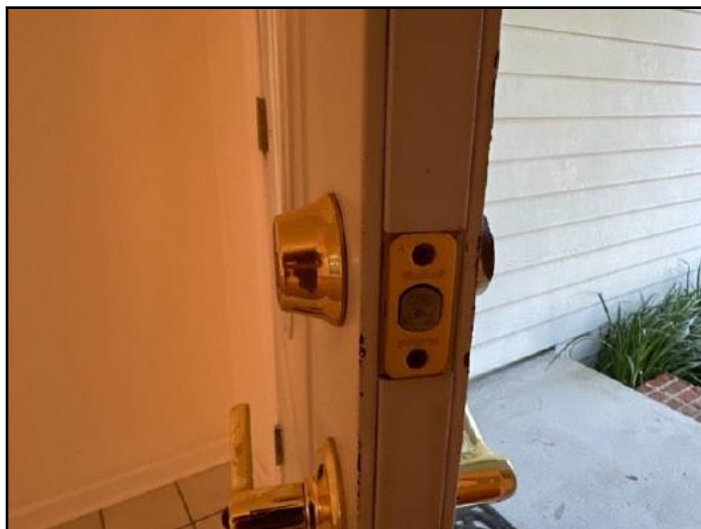
**Task:** Handyman Skill Level - Replace

**Time:** As soon as practical

**Cost:** Less than \$100 per location



20. Double Key Deadbolt noted. This can create...



21. Double Key Deadbolt noted. This can create...

## PORCHES, DECKS, STAIRS, PATIOS AND BALCONIES \ Stairs and landings

**Condition:** • Noted the front steps are loose. This condition allows them to shift or move.

**Location:** Front exterior



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**Task:** Mason/handyman professional - repair

**Time:** When necessary



22.

## GARAGE \ Vehicle doors | Wood Trim

**Condition:** • Weatherstripping damaged or missing.

**Location:** Garage door

**Task:** Handyman Skill Level - Install/Correct

**Time:** As soon as practical



23. Weatherstripping damaged or missing.



24. Weatherstripping damaged or missing.

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25. Weatherstripping damaged or missing.

## Structure

### FOUNDATIONS \ General Condition

**Condition:** • Soil erosion noted. This condition can create opportunities for settlement. Recommend adding additional backfill and soil compaction. Gutter & downspout with extensions or water diverting landscaping techniques can prevent reoccurrence

\*\*

**Location:** Front exterior

**Task:** Landscape Professional - Repair Improve Protect

**Time:** As soon as practical - To prevent further deterioration

**Cost:** Depends on approach



26. Soil erosion noted. This condition can...

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## Electrical

### DISTRIBUTION SYSTEM \ Wiring (wires) - damaged or exposed

**Condition:** • Improper splice noted for garbage disposal wiring underneath the kitchen sink. Recommend sealing and properly securing in a junction box with an approved cover plate

**Location:** Kitchen

**Task:** Handyman/Electrician - Repair/Protect

**Time:** As soon as possible

**Cost:** Less than \$100 per location - Depends on approach



27.

### DISTRIBUTION SYSTEM \ Cover plates

**Condition:** • Missing

**Implication(s):** Electric shock

**Location:** Attic

**Task:** Handyman/Electrician - Install

**Time:** As soon as possible

**Cost:** Minor



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28. Missing

## Heating

### RATING/CONDITION \ Overall Condition

**Condition:** • Satisfactory - Unit is working properly at the time of Inspection. Heat pumps & furnace (air handlers) have an estimated economical service life of 12 -15 years or more when maintained and serviced. The unit functioned normally during the inspection.

Adequate - Unit is working properly at the time of Inspection. However, due to the age of the unit it may need service and maintenance performed and it is recommended to have an HVAC technician to evaluate further prior to closing

Marginal - Unit is working properly at the time of Inspection. However, due to the age of the unit it may need service, maintenance and/or repairs performed and it is recommended to have an HVAC technician to evaluate further prior to closing

**Condition:** • SATISFACTORY -

2022 Model Unit is working properly at the time of Inspection. Heat pumps & furnace (air handlers) have an estimated economical service life of 12 -15 years or more when maintained and serviced. The unit functioned normally during the inspection.

-

**Location:** Garage

**Task:** HVAC Technician - Service and clean

**Time:** Annually

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## FIREPLACE \ General Observations

**Condition:** • The gas fireplace is not equipped with a inline gas shut off valve or a wall mounted shut off valve. Possible safety hazard

**Location:** Living room fireplace

**Task:** Plumber or Fireplace Repair Professional

**Time:** As soon as possible

**Cost:** Depends on work needed



29.

## Cooling & Heat Pump

### RATING/CONDITION \ Overall Condition

**Condition:** • SATISFACTORY -

-

2022 Model Unit is working properly at the time of Inspection. Heat pumps & furnace (air handle rs) have an estimated economical service life of 12 -15 years or more when maintained and serviced. The unit functioned normally during the inspection.

**Location:** Right Side Exterior

**Task:** HVAC Technician - Service and clean

**Time:** Annually

**Cost:** Regular maintenance item

### AIR CONDITIONING \ Condensate drain line

**Condition:** • Blocked or crimped

**Implication(s):** Chance of water damage to structure, finishes and contents | Damage to equipment

**Location:** Right Side Exterior

**Task:** HVAC Technician - Service/Clean/Treatment

**Time:** Next Annual Maintenance

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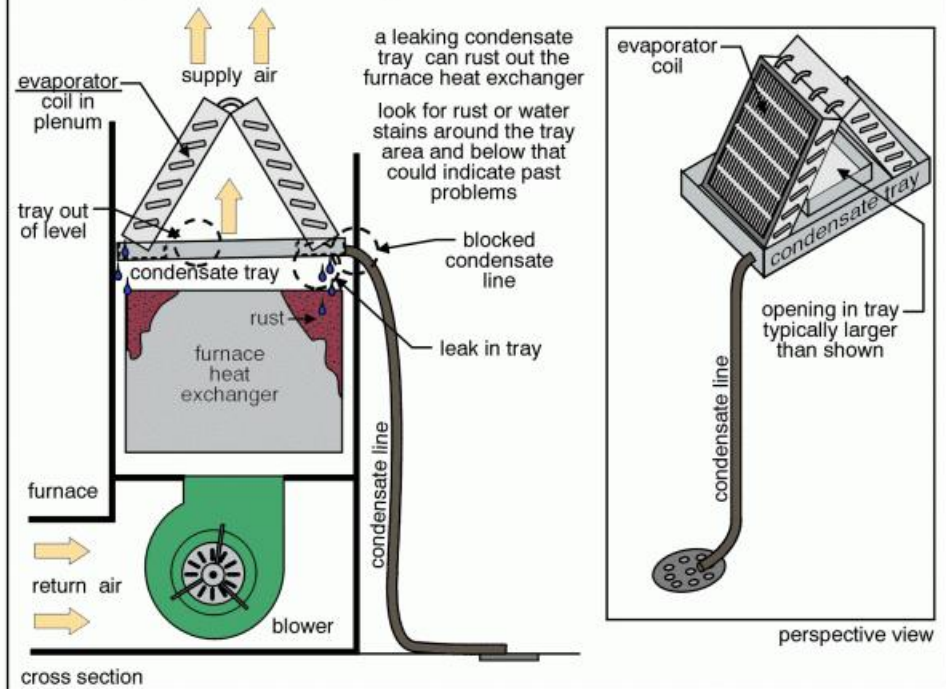
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## Leaking condensate tray



30. Blocked or crimped



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## Plumbing

### SUPPLY PLUMBING \ Hose Bibs & Water Pressure

**Condition:** • [Mechanical damage](#)

**Implication(s):** Chance of water damage to structure, finishes and contents | Leakage | System inoperative | No water

**Location:** Right side exterior

**Task:** Plumber - Handyman Professional - Repair or replace

**Time:** [As soon as practical](#)

**Cost:** Minor - Depends on approach



31. Mechanical damage

### SUPPLY PLUMBING \ Water main shut off valve

**Condition:** • [Missing or cannot be located](#)

**Implication(s):** Chance of water damage to structure, finishes and contents | Difficult to service

**Location:** Unknown

**Task:** Recommend locate

**Time:** [As soon as practical](#)

**Cost:** Regular maintenance item

### WASTE PLUMBING \ Bathroom & Kitchen drains | Traps

**Condition:** • Leaking noted - recommend repair by a qualified professional

**Location:** Guest Bathroom

**Task:** Handyman/Plumber - Repair

**Time:** [As soon as possible](#)

**Cost:** Minor - Depends on work needed

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32.

## WASTE PLUMBING \ Septic System Observations

**Condition:** • Noted the plumbing vent piping is broken in the attic. This condition is allowing water to leak in the attic. The vent pipe having water present could indicate a possible clogged drain condition.

**Location:** Attic over garage

**Task:** Plumber - Correct

**Time:** As soon as possible



33.



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## FIXTURES AND FAUCETS \ Toilet

**Condition:** • The toilet in the bathroom is loosely attached at the connection of the bowl to the floor. This can allow leaks at or into the floor. We recommend removing the toilet, checking the floor flange, replacing the wax ring, and re-setting the toilet. The base of the toilet should be caulked around the perimeter at the oor to prevent slippage and damage to the wax ring that seals the toilet to the drain pipe.

\*\*

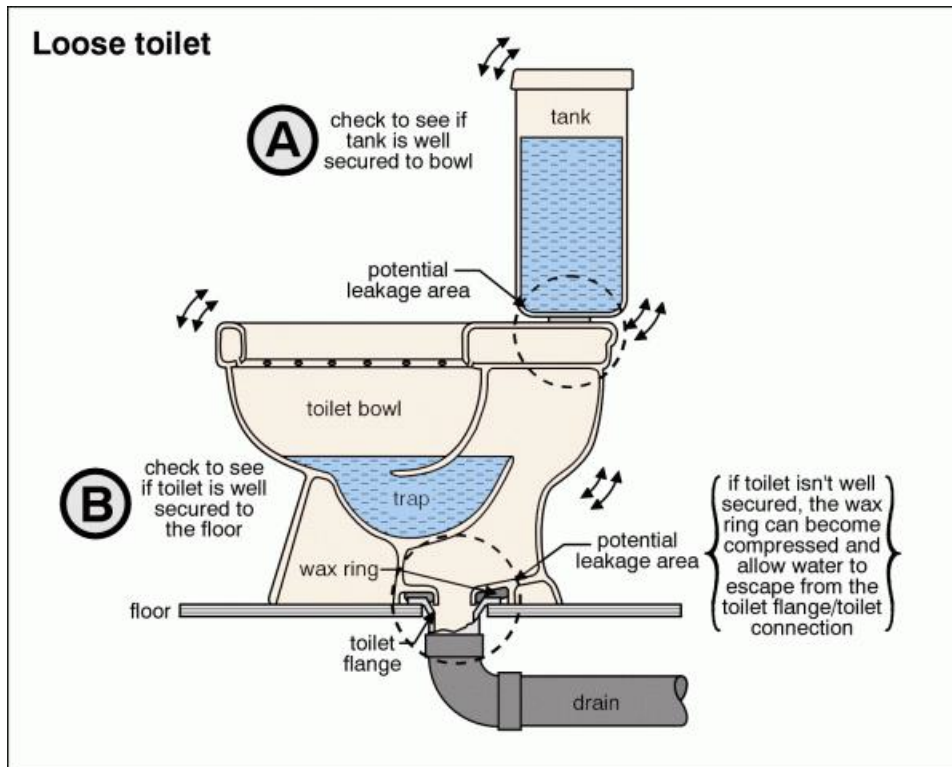
**Implication(s):** Chance of water damage to structure, finishes and contents | Sewage entering the building | Possible hidden damage

**Location:** Guest Bathroom

**Task:** Handyman Skill Level - Repair

**Time:** As soon as practical

**Cost:** Minor Depends on approach



## Interior

### CEILINGS \ General Observations

**Condition:** • Stains on ceiling. NO moisture detected. Possible prior water leak. Recommend to Prime and paint to remove stains

**Implication(s):** Chance of water damage to structure, finishes and contents

**Location:** Garage

**Task:** Monitor

**Time:** When necessary



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35. Stains on ceiling. NO moisture detected...



36. Stains on ceiling. NO moisture detected...

## APPLIANCES \ Washing machine

**Condition:** • While the washing machine appears to be operational during the time of inspection, noted burning smell when testing and the drum would not spin after initial filling. Recommend follow-up with a qualified Appliance Repair professional for further evaluation and repair

**Location:** Laundry Area

**Task:** Appliance Repair Professional - Further evaluation Recommended

**Time:** As soon as practical/Before Using

**Cost:** Not determined - Depends on work needed



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This concludes the Summary section.

The remainder of the report describes each of the home's systems and also details any recommendations we have for improvements. Limitations that restricted our inspection are included as well.

The suggested time frames for completing recommendations are based on the limited information available during a pre-purchase home inspection. These may have to be adjusted based on the findings of specialists.

[Home Improvement - ballpark costs](#)

## Description

### General:

- The inspector, at His/Her discretion for safety shall inspect from roof or ground level or eaves: The roof covering. The gutters. The downspouts. The vents, flashings, skylights, chimney and other roof penetrations. The general structure of the roof from the readily accessible panels, doors or stairs. The inspector is not required to: Walk on any roof surface, predict the service life expectancy, inspect underground downspout diverter drainage pipes, remove snow, ice, debris or other conditions that prohibit the observation of the roof surfaces, move insulation, inspect antennae, satellite dishes, lightning arresters, de-icing equipment, or similar attachments. Walk on any roof areas that appear, in the opinion of the inspector to be unsafe, and or cause damage. Perform a water test, warrant or certify the roof. Confirm proper fastening or installation of any roof material

The home inspection is intended to assist in evaluation of the overall condition of the dwelling and is based on observation of the visible and apparent condition of the structure and its components on the date of the inspection ONLY and not the prediction of future conditions. A limited 2-3 hour visual home inspection will NOT reveal EVERY concern that exists or ever could exist but only those material defects visually observed on the day of the inspection. Home inspectors cannot see inside walls, under the slab cement or under the ground to determine hidden defects connected to plumbing or electrical conditions

While the home inspection report is a comprehensive holistic report on the home systems, the inspection is not a technically exhaustive or intrusive inspection. Remember, this is not your home yet and removing, altering, and damaging areas for inspection purposes is not permitted, removing furniture is not permitted, removing floor covering is not permitted, removing appliances is not permitted. The home being occupied and completely or partially furnished will prevent some area and items from being inspected. The Items Listed On This Summary Are Not All Inclusive of The Entire Report, and additional deficiencies SHOULD BE expected. It Is Recommended That The Entire Report Be Reviewed And You Have The Appropriate Licensed Trade Services Professional Further Evaluate Each Defect And Or System In question to obtain quotes or cost that may affect your buying decision. To assist with identifying which professional repair services or trade service may be required, we have placed icons throughout the report where follow up should be considered BEFORE CLOSING.

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- General Photos



# ROOFING

Report No. 3105

Tallahassee, FL April 29, 2024

[www.boomgenhome.com](http://www.boomgenhome.com)

SUMMARY O

ROOFING

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38. General Photos



39. General Photos



40. General Photos



41. General Photos

**The home Direction & Manner of Inspection:** • On Roof

**Sloped roofing material:** • Architectural Asphalt shingles - Consistent with a 25-30 year product

**Sloped roof flashing & Ventilation System:** • Ventilation • Ridge

**Probability of leakage:** • Low - Recommend Annual Inspections

**Approximate age:**

• Life Expectancy of any roofing material is a estimated time that is based on the known, or if not known, estimated date of installation of the roof covering material. If a more exact estimate is required then a licensed roofer should be contacted for a more detailed specific trade professional opinion. IT IS IMPORTANT TO STATE THAT SOME HOME INSURANCE COMPANIES WILL NOT WRITE POLICIES ON SOME HOMES WITH A ROOF WHICH DOES NOT HAVE A MINIMUM OF 10 YEARS OF REMAINING LIFE EXPECTANCY. THE HOME INSPECTOR IS NOT RESPOSIBLE FOR ANY ACCEPTANCE OF DENIAL OF A ROOF SYSTEM BY THE INSURANCE COMPANY AND IS NOT RESPONSIBLE FOR ANY OUTCOME OF INSURABILITY AS INSURANCE IS OUTSIDE THE CONTROL AND AREA OF A HOME INSPECTION

- Roofing Permit  
01/31/2011 Install
- 13 years

**Typical life expectancy:** • 8-10

**Roof Shape:** • Gable

## Recommendations

### GENERAL \ General Photos

**1. Condition:** • Satisfactory Rating 8 -10 = Roofing materials are in acceptable condition and are either new or within the 1st quarter of life expectancy or wearing normally with no defects observed

Adequate Rating 6 - 8 = While the roof materials were in overall adequate condition , the Roof was showing normal wear consistent with the age of the home or installation date. Areas included some granular loss and or exposed felt of the shingles edges in various locations. Metal Roofs may need routine maintenance or showing signs or normal wear. Consult a licensed roofer for a more detailed preventative maintenance program

Marginal Rating 3 - 5 = The roof materials were in overall marginal condition. The Roof was showing normal wear consistent with the age of the home or installation date but also have some damage or deterioration that will need minor maintenance and/or repairs. Areas included some granular loss and or broken/missing shingles and or exposed felt of the shingles edges in various locations. Metal Roofs may have deck screws loose or backing out, rusted or improper flashing/caulking and exposed seamed edges. Roof coverings will need maintenance & repairs. Consult a licensed roofer for Repairs. In some cases this condition will be an obstacle in obtaining homeowners insurance

Poor Rating 0 - 3 = The roof materials were in overall poor condition and either have reached the end of useful life expectancy or has damaged or leak conditions which may require complete replacement. In Most cases this condition will be an obstacle in obtaining homeowners insurance

**Implication(s):** Rating Scale

### GENERAL \ Overview

**2. Condition:** • Annual roof tune-ups are recommended to find and repair damage to roofing materials, flashings and caulking. Roof tune-ups reduce the risk of leaks and resulting water damage and help extend the service life of the roof.

### OVERALL CONDITION \ Roofing

**3. Condition:** • Adequate Rating 6 - 8 = While the roof materials were in overall adequate condition , the Roof was showing normal wear consistent with the age of the home or installation date. Areas included some granular loss and or exposed felt of the shingles edges in various locations. Metal Roofs may need routine maintenance or showing signs or normal wear. Consult a licensed roofer for a more detailed preventative maintenance program

Roof Installed [2011 ] with Est [8-10] Remaining Life Expectancy

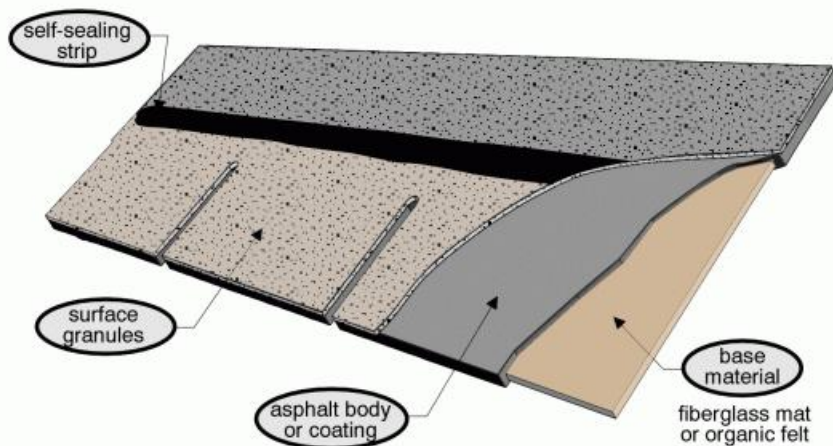
### SLOPED ROOFING \ Shingle or metal Condition

**4. Condition:** • Granule loss is an indication of roof shingle wear. Excessive amounts can be an indication of nearing the end of useful life expectancy and may be an obstacle in obtaining homeowners insurance

**Implication(s):** Chance of water damage to structure, finishes and contents



## Asphalt shingle composition



42. Granule loss is an indication of roof...



43. Granule loss is an indication of roof...

**5. Condition:** • Debris/moss

**Implication(s):** Shortened life expectancy of material

**Location:** Various Roof

**Task:** Soft wash roof maintenance

**Time:** Next Annual Maintenance

**Cost:** Regular maintenance item



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44. Debris/moss



45. Debris/moss

## SLOPED ROOF FLASHINGS \ General Flashings Observations

6. Condition: • Satisfactory

## SLOPED ROOF FLASHINGS \ Plumbing Vent Boots

7. Condition: • Satisfactory



46. Satisfactory



47. Satisfactory

## SLOPED ROOF FLASHINGS \ Roof ventilation

8. Condition: • Satisfactory

SUMMARY O	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
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Limitations

Inspection performed: • By walking on roof

SUMMARY O	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
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## Description

### General:

- Exterior Inspection: The inspector shall inspect: The siding, flashing and trim. All exterior doors, decks, stoops, steps, stairs, porches, railings, eaves, soffits and fascias. And report as in need of repair any spacing between intermediate balusters, spindles, or rails for steps, stairways, balconies, and railings that permit the passage of an object greater than four inches in diameter. A representative number of windows. The vegetation, surface drainage and retaining walls when these are likely to adversely affect the structure. And describe the exterior wall covering.

The inspector is not required to: Inspect or operate screens, storm windows, shutters, awnings, fences, outbuildings, or exterior accent lighting, Inspect items, including window and door flashings, which are not visible or readily accessible from the ground, Inspect geological, geotechnical, hydrological and/or soil conditions, Inspect recreational facilities, playground equipment. Inspect seawalls, break-walls and docks, Inspect erosion control and earth stabilization measures, Inspect for safety type glass, Inspect underground utilities, Inspect underground items, Inspect wells or springs, Inspect solar, wind or geothermal systems, Inspect swimming pools or spas, Inspect wastewater treatment systems septic systems or cesspools, Inspect irrigation or sprinkler systems, Inspect drain fields or drywells, Determine the integrity of multi-pane window glazing or the thermal window seals.

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## • Exterior Photos



48. Exterior Photos



49. Exterior Photos



50. Exterior Photos



51. Exterior Photos

## Gutter & downspout material:

- [Aluminum](#)



52. Aluminum

## Downspout discharge:

- [Above grade](#)



53. Above grade

**Lot slope:** • WHAT IS GRADING? Grading is actually how level your yard is. Each homeowner or business owner's yard is graded differently than their neighbors. Grading is important, because it determines how stormwater flows in your yard. There are only two types of grading: positive grading and negative grading. If you think that positive grading is the right type of grading to have, you're right. You always want to have a yard with a positive grade rather than a negative grade. If your yard has a positive grade, it slopes away from your



house. That means any stormwater runoff isn't moving towards your foundation, it is moving away from your foundation. If you have a negative grade, it will slope towards your home, and your foundation. This is never good. You do not want any water directed at your foundation, because over time, this can damage your foundation, which is a very expensive problem to fix. • [Flat](#)

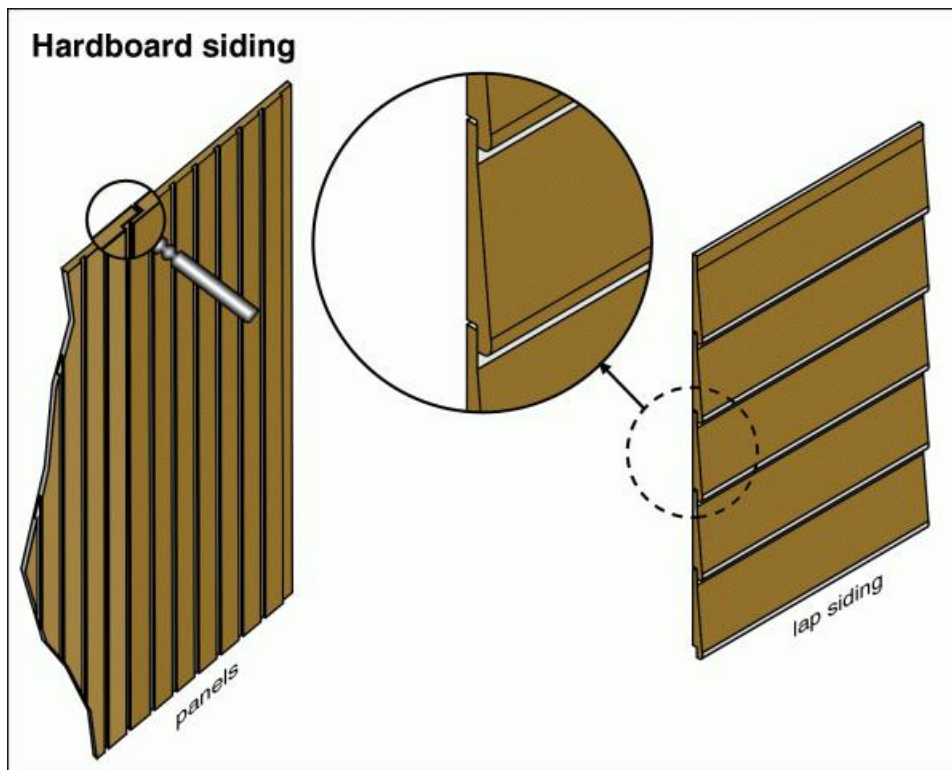
**Soffit (underside of eaves) and fascia (front edge of eaves):** • [Wood](#)

## Wall surfaces and trim:

- Hardie board is a special siding material that uses cement fibers to create a more durable and attractive product. Cement is combined with sand, water and cellulose wood fibers to create a material particularly suited to protect home exteriors. Hardie board is an innovative product which is rot resistant and insect resistant. Hardie Board is not a new or unproven construction material and performs very well

- Exterior House Washing Recommendations for Fiber Cement Siding and Trim Follow these recommendations to clean the exterior of your home and to help maintain the beauty and value of your James Hardie siding.

- Wash down the exterior surfaces every 6 to 12 months with a garden hose to remove dirt and debris, gently clean your siding with a soft brush or wet soft cloth in a side to side motion in the direction of the plank siding. NOTE: Clean by working small sections at a time, starting from the top down to prevent dripping or streaking onto the cleaned area. A low pressure water spray\* and a soft medium bristle (non-metal) siding cleaning brush is most suitable for cleaning fiber cement products. NOTE: Acid and high pressure washing can damage the fiber cement surface and is not recommended.





## Driveway:

- Concrete



54. Concrete

## Walkway:

- Concrete



55. Concrete

## Porch:

- Concrete



56. Concrete

## Exterior steps:

- Brick



57. Brick

## Patio:

- Concrete



58. Concrete

## Garage:

- General



59. General

- Attached

## Garage vehicle doors:

- Present





60. Present

- Satisfactory

## Garage vehicle door operator (opener):

- Present



61. Present

Carport: • N/A

SUMMARY O	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
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## Recommendations

### ROOF DRAINAGE \ Gutters System Performance

**9. Condition:** • Gutter discharge 4-6 feet from building or foundation can greatly reduce the chance of water collection at the foundation and opportunities for settlement

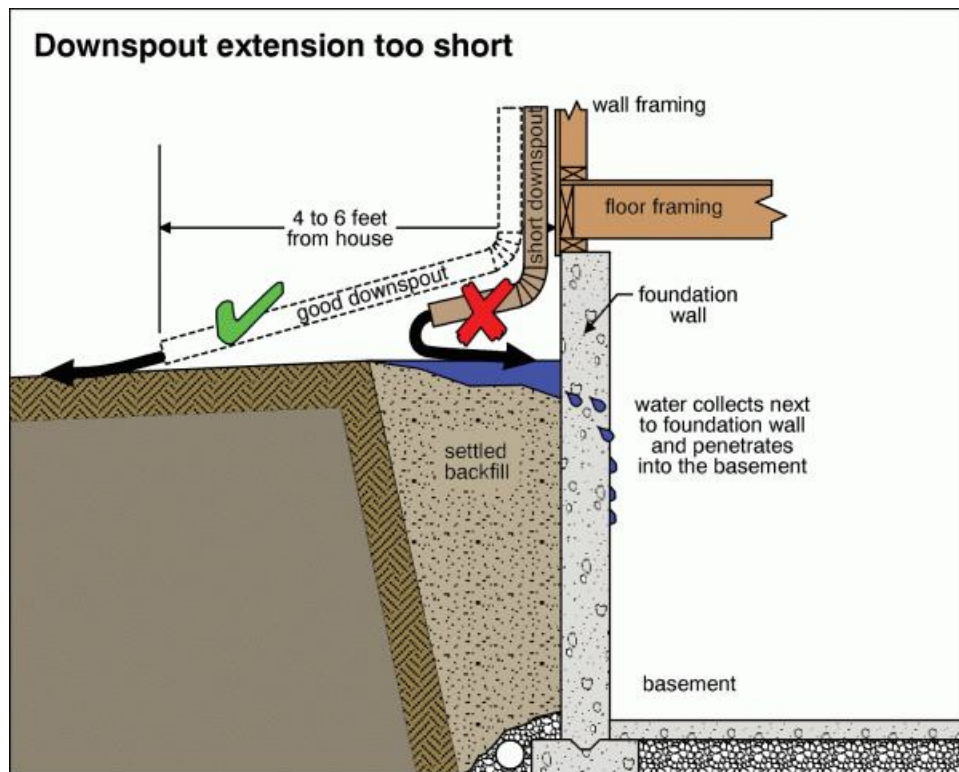
Gutter downspout extensions can greatly reduce water collection and intrusion into the Crawlspace which can reduce mold and mildew growth. For foundation structures; can reduce the likelihood of soil erosion at the foundation and settlement cracks

**Location:** Various Exterior Wall

**Task:** DIY Skill Level - Improve protect

**Time:** As soon as practical

**Cost:** Minor





62. Gutter discharge 4-6 feet from building or...

**10. Condition:** • Damage

**Location:** Rear exterior

**Task:** Gutter Contractor - Repair or replace

**Time:** As soon as practical



63. Damage

**11. Condition:** • [Leak](#)

**Implication(s):** Chance of water damage to structure, finishes and contents

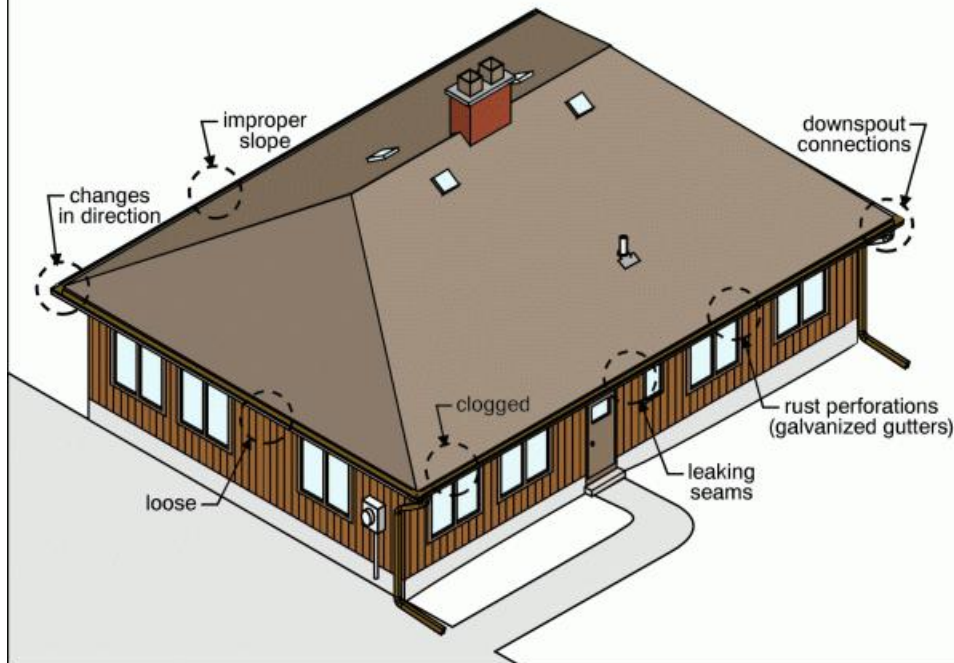
**Location:** Various gutters

**Task:** Gutter contractor - repair/replace

**Time:** As soon as practical



## Gutters - common reasons for leakage



64. Leak

### WALLS \ Soffits (underside of eaves) and fascia (front edge of eaves)

**12. Condition:** • Observed wood rot or Detected above normal levels of moisture with damage to wood material or noted damage/wood rot/insect damage noted in various locations, Recommend repairing or replacing water moisture damage or wood rot sections to prevent further water intrusion.

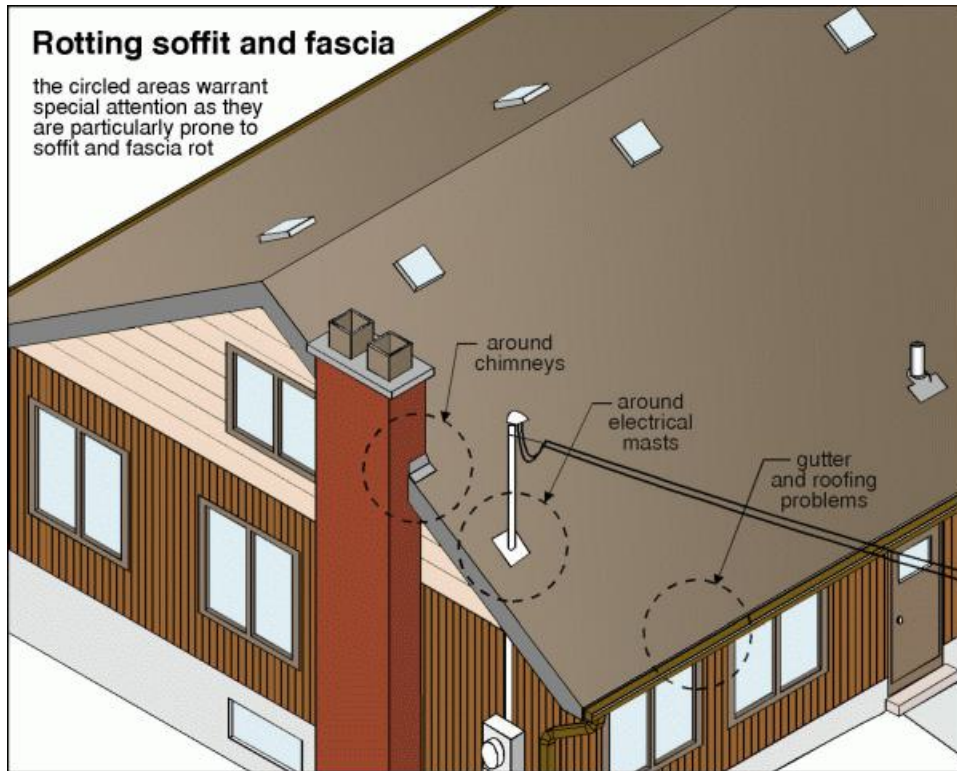
**Implication(s):** Chance of water damage to structure, finishes and contents | Material deterioration

**Location:** Right side exterior

SUMMARY O	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
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**Task:** Handyman Skill Level - Repair or replace as required

**Time:** As soon as practical - To prevent water intrusion



65. Observed wood rot or Detected above normal...

## WALLS \ Trim

13. **Condition:** • Adequate - Some areas require painting/caulking maintenance

## WALLS \ Flashings and caulking

14. **Condition:** • Marginal

SUMMARY O	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
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Recommend caulking at all seams and penetrations around doors and windows to prevent water intrusion

**Location:** Various exterior

**Task:** DIY Skill Level - Handyman Skill Level - Repair Protect

**Time:** As soon as practical - To prevent water intrusion



66. Marginal



67. Marginal



68. Marginal



69. Marginal



# EXTERIOR

Report No. 3105

Tallahassee, FL April 29, 2024

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70. Marginal



71. Marginal



72. Marginal



73. Marginal

## WALLS \ Wall Siding Condition

15. Condition: • [Too close to grade](#)

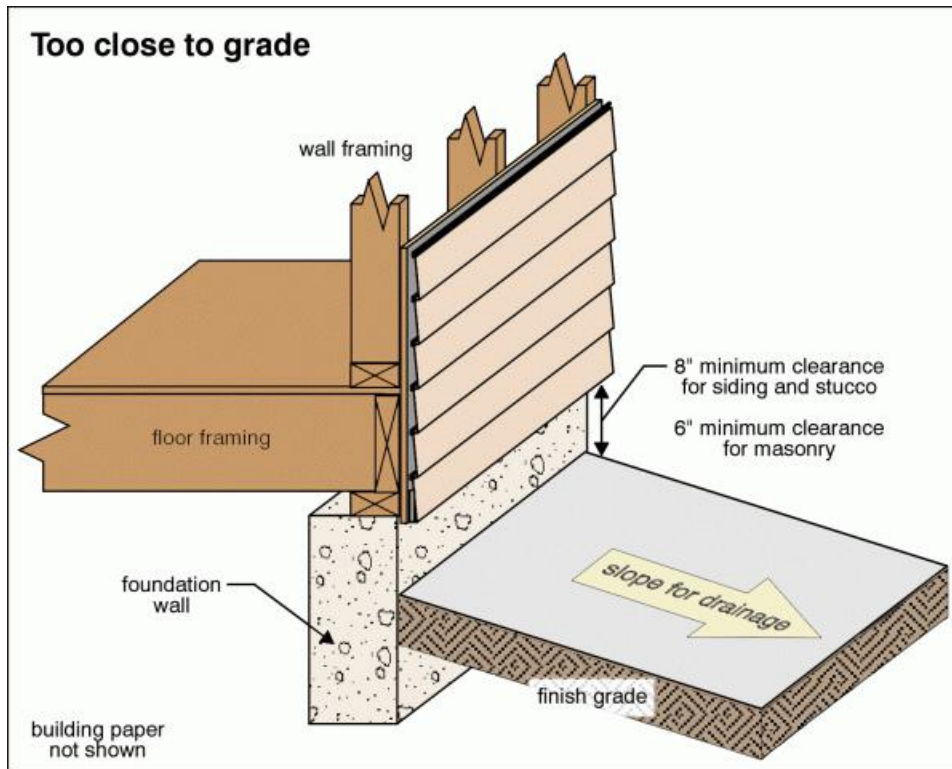
Implication(s): Chance of water damage to structure, finishes and contents | Material deterioration | Rot | Insect damage

Location: Right side Exterior Wall

Task: DIY Skill Level - Handyman Skill Level - Improve

Time: Next Annual Maintenance

Cost: Regular maintenance item



74. Too close to grade



75. Too close to grade

**16. Condition:** • [Cracked, split or broken](#)

**Implication(s):** Chance of water damage to structure, finishes and contents

**Location:** Rear exterior

**Task:** Handyman Skill Level - Repair

**Time:** When necessary

**Cost:** Depends on approach



76. Cracked, split or broken

## WINDOWS \ General Condition

17. Condition: • Satisfactory

## EXTERIOR GLASS/WINDOWS \ Storms and screens

18. Condition: • Satisfactory

## DOORS \ General Condition

19. Condition: • Satisfactory

## DOORS \ Doors/frames/Trim Condition

20. Condition: • Satisfactory

## DOORS \ Hardware

21. Condition: • Double Key Deadbolt noted. This can create a safety or fire egress concern.

Possible Safety or Fire egress concern

**Implication(s):** Recommend replacing deadbolt with a single key deadbolt

**Location:** Both exterior doors

**Task:** Handyman Skill Level - Replace

**Time:** As soon as practical

**Cost:** Less than \$100 per location



SUMMARY O	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
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77. Double Key Deadbolt noted. This can create...



78. Double Key Deadbolt noted. This can create...

**PORCHES, DECKS, STAIRS, PATIOS AND BALCONIES \ General notes**

**22. Condition:** • Patio/porch had some typical cracks and is in satisfactory condition. Porch & patios are most commonly poured separately from foundation and are not a necessarily an indication of a foundational issue. Recommend to seal all cracks to prevent expansion during freeze events

**Location:** Front porch and rear patio

**Task:** Seal & Monitor



79. Patio/porch had some typical cracks and is...



80. Patio/porch had some typical cracks and is...



81. Patio/porch had some typical cracks and is...

## PORCHES, DECKS, STAIRS, PATIOS AND BALCONIES \ Stairs and landings

**23. Condition:** • Noted the front steps are loose. This condition allows them to shift or move.

**Location:** Front exterior

**Task:** Mason/handyman professional - repair

**Time:** When necessary



82.

## LANDSCAPING \ General notes

**24. Condition:** • Satisfactory

## LANDSCAPING \ Walkway

**25. Condition:** • Satisfactory

## LANDSCAPING \ Driveway

**26. Condition:** • Driveway had some typical cracks and is in satisfactory condition. Recommend to seal all penetrations to prevent water expansion during freeze events and further cracking

**Location:** Driveway

**Task:** Handyman Skill Level - Seal & Monitor



**83.** Driveway had some typical cracks and is in...

## GARAGE \ General Garage Condition

**27. Condition:** • Satisfactory

## GARAGE \ Floor

**28. Condition:** • Garage floor has typical cracks but appears to be in satisfactory and or serviceable condition. Recommend to seal all penetrations to prevent water expansion during freeze events and further cracking.

**ADDITIONAL INFORMATION** - What constitutes more than typical?

When a garage floor has a significant number of cracks or V cracks which widen as they progress, or when a crack has one side substantially higher than the other side; then examining these cracks further and checking the home for other signs of possible soil and foundation movement would be wise. Look at more than just the cracks In order to help analyze if the cracks are a concern, you must look at other factors in the home. If you see some of the following, then the cracks may relate to foundational or other issues. Are the floors of the house sloping? Un-level floors are a sign of structural movement. Are there doors or windows that are inoperative or difficult to open or shut? Is the foundation cracked, leaning or bowed? Does the roof sag? Are there cracks in the drywall or siding? Does a crack across the garage floor continue up the garage wall? When there are other issues like those above with a house, then garage floor cracks become more of a concern, for they are then part of the overall picture of the home and may relate to foundation issues. Note. If a home is on a hillside lot and there is a living area or an open space area underneath the concrete garage floor, then all cracks should be evaluated for safety purposes. Should the cracks have rust stains, run extended lengths, be more than hairline cracks or getting worse; consulting a structural engineer would be wise.

**Bottom Line** It is common for garage floors to develop cracks, some of which appear right after the floor is poured (i.e.



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shrinkage cracks). Others appear over the first year or so from the house settling slightly. Older homes and homes built on expansive soils tend to have more cracks but even if they do, the question becomes if the cracks are significant or just normal for the age and geographic area. Although there are many reasons for a concrete slabs to crack, most do not lead to serious foundation or structural issues; However, there are times that the cracks are a warning sign of foundational or other problems. In these cases an owner or buyer should check a number of other things about the house in order to help determine the seriousness and follow-up with a qualified foundation specialist.

If you are just looking to fill in the cracks try a concrete epoxy.

**Location:** Garage floor

**Task:** Handyman Skill Level - Seal & Monitor



**84.** *Garage floor has typical cracks but appears...*

## **GARAGE \ Door into garage from living space**

**29. Condition:** • Satisfactory

## **GARAGE \ Vehicle doors | Wood Trim**

**30. Condition:** • Weatherstripping damaged or missing.

**Location:** Garage door

**Task:** Handyman Skill Level - Install/Correct

**Time:** As soon as practical



85. Weatherstripping damaged or missing.



86. Weatherstripping damaged or missing.



87. Weatherstripping damaged or missing.

## GARAGE \ Vehicle door operators (openers)

31. Condition: • Satisfactory

## GARAGE \ Electrical | Receptacles

32. Condition: • Satisfactory



88. Satisfactory

## Limitations

### Inspection limited/prevented by:

- Storage in garage



89. Storage in garage



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**Configuration:** • [Slab-on-grade](#)

**Foundation material:** • [Poured concrete](#)

**Floor construction:** • Slab - concrete

**Exterior wall construction:** • [Wood frame](#)

**Roof and ceiling framing:** • [Trusses](#)

## Recommendations

### FOUNDATIONS \ General Condition

**33. Condition:** • Soil erosion noted. This condition can create opportunities for settlement. Recommend adding additional backfill and soil compaction. Gutter & downspout with extensions or water diverting landscaping techniques can prevent reoccurrence

\*\*

**Location:** Front exterior

**Task:** Landscape Professional - Repair Improve Protect

**Time:** As soon as practical - To prevent further deterioration

**Cost:** Depends on approach

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90. Soil erosion noted. This condition can...

Limitations

**Attic/roof space:** • Entered but access was limited  
**Percent of foundation not visible:** • 99 % • 95 %

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## Description

### General:

• About The Inspection: The inspector shall inspect: The service line. The meter box. The main disconnect. And determine the rating of the service amperage. Panels, breakers and fuses. The service grounding and bonding. A representative sampling of switches, receptacles, light fixtures, AFCI receptacles and test all GFCI receptacles and GFCI circuit breakers observed and deemed to be GFCI's during the inspection. And report the presence of solid conductor aluminum branch circuit wiring if readily visible. And report on any GFCI-tested receptacles in which power is not present, polarity is incorrect, the receptacle is not grounded, is not secured to the wall, the cover is not in place, the ground fault circuit interrupter devices are not properly installed or do not operate properly, or evidence of arcing or excessive heat is present. The service entrance conductors and the condition of their sheathing. The ground fault circuit interrupters observed and deemed to be GFCI's during the inspection with a GFCI tester. And describe the amperage rating of the service. And report the absence of smoke detectors. Service entrance cables and report as in need of repair deficiencies in the integrity of the insulation, drip loop, or separation of conductors at weatherheads and clearances. The inspector is not required to: Insert any tool, probe or device into the main panel, sub-panels, downstream panel, or electrical fixtures. Operate electrical systems that are shut down. Remove panel covers or dead front covers if not readily accessible. Operate over current protection devices. Operate non accessible smoke detectors. Measure or determine the amperage or voltage of the main service if not visibly labeled. Inspect the alarm system and components. Inspect the ancillary wiring or remote control devices. Activate any electrical systems or branch circuits which are not energized. Operate overload devices. Inspect low voltage systems, electrical de-icing tapes, swimming pool wiring or any time-controlled devices. Verify the continuity of the connected service ground. Inspect private or emergency electrical supply sources, including but not limited to generators, windmills, photovoltaic solar collectors, or battery or electrical storage facility. Inspect spark or lightning arrestors. Conduct voltage drop calculations. Determine the accuracy of breaker labeling. Inspect exterior lighting

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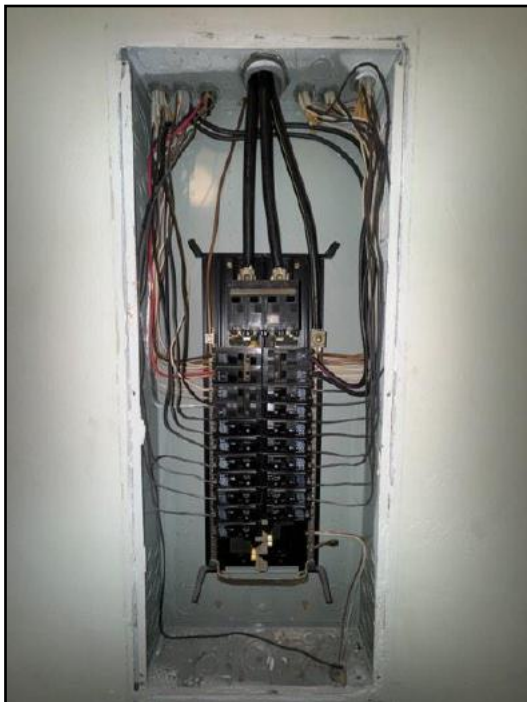
## • General Photos



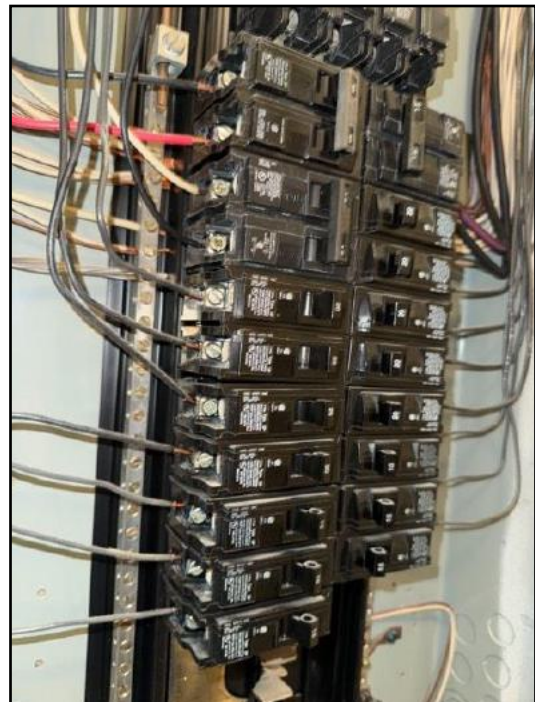
91. General Photos



92. General Photos



93. General Photos



94. General Photos

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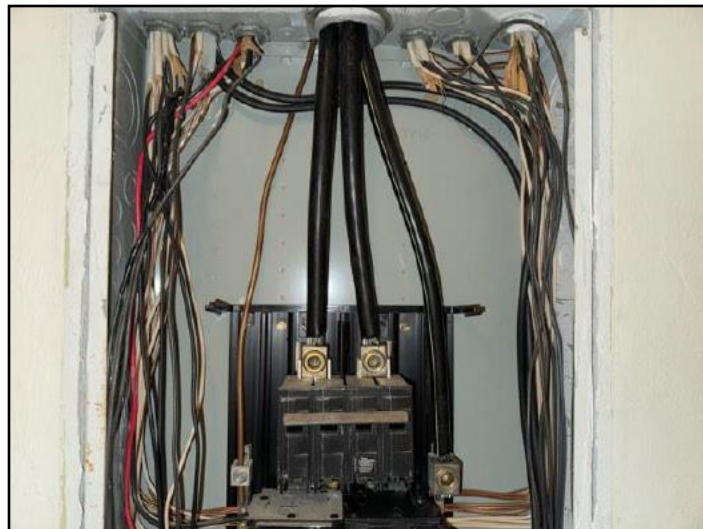
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95. General Photos



96. General Photos

**Service entrance cable and location:**

- [Underground - cable material not visible](#)



97. Underground - cable material not visible

**Service size:** • [200 Amps \(240 Volts\)](#)

**Main Service Entry Wires:** • Aluminum

**Electrical panel type and location:** • Breakers - utility room

**Electrical panel manufacturers:** • Siemens

**Distribution wire (conductor) material and type:** • Copper - Romex sheathed

## Recommendations

### SERVICE DROP AND SERVICE ENTRANCE \ Service drop

**34. Condition:** • Satisfactory

### SERVICE ELECTRICAL PANEL \ Electrical Panel | Breakers

**35. Condition:** • Satisfactory

### SERVICE ELECTRICAL PANEL \ Panel wires

**36. Condition:** • Satisfactory

### DISTRIBUTION SYSTEM \ Wiring (wires) - damaged or exposed

**37. Condition:** • Improper splice noted for garbage disposal wiring underneath the kitchen sink. Recommend sealing and properly securing in a junction box with an approved cover plate

**Location:** Kitchen

**Task:** Handyman/Electrician - Repair/Protect

**Time:** As soon as possible

**Cost:** Less than \$100 per location - Depends on approach



98.



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**DISTRIBUTION SYSTEM \ Outlets (receptacles)****38. Condition:** • Satisfactory**DISTRIBUTION SYSTEM \ Exterior receptacle Outlets & GFCI's****39. Condition:** • Front porch receptacle Outlet**99.** *Front porch receptacle Outlet***40. Condition:** • Rear patio receptacle Outlet



100. Rear patio receptacle Outlet

## DISTRIBUTION SYSTEM \ Switches

41. Condition: • Satisfactory

## DISTRIBUTION SYSTEM \ Cover plates

42. Condition: • [Missing](#)

Implication(s): Electric shock

Location: Attic

Task: Handyman/Electrician - Install

Time: As soon as possible

Cost: Minor

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101. Missing

## DISTRIBUTION SYSTEM \ Smoke alarms (detectors)

43. Condition: • Present

## DISTRIBUTION SYSTEM \ Carbon monoxide (CO) alarms (detectors)

44. Condition: • Present



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## Description

### General:

• The inspector shall inspect: The heating system and describe the energy source and heating method using normal operating controls. And report as in need of repair electric furnaces which do not operate. And report if inspector deemed the furnace inaccessible. The central cooling equipment using normal operating controls. The inspector is not required to: Inspect or evaluate interiors of flues or chimneys, fire chambers, heat exchangers, humidifiers, dehumidifiers, electronic air filters, solar heating systems, solar heating systems or fuel tanks. Inspect underground fuel tanks. Determine the uniformity, temperature, flow, balance, distribution, size, capacity, BTU, or supply adequacy of the heating system. Light or ignite pilot flames. Activate heating, heat pump systems, or other heating systems when ambient temperatures or when other circumstances are not conducive to safe operation or may damage the equipment. Override electronic thermostats. Evaluate fuel quality. Verify thermostat calibration, heat anticipation or automatic setbacks, timers, programs or clocks. Determine the uniformity, temperature, flow, balance, distribution, size, capacity, BTU, or supply adequacy of the cooling system. Inspect window units, through-wall units, or electronic air filters. Operate equipment or systems if exterior temperature is below 60 degrees Fahrenheit or when other circumstances are not conducive to safe operation or may damage the equipment. Inspect or determine thermostat calibration, heat anticipation or automatic setbacks or clocks. Examine electrical current, coolant fluids or gasses, or coolant leakage.

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- General Photos
- 2022 Model



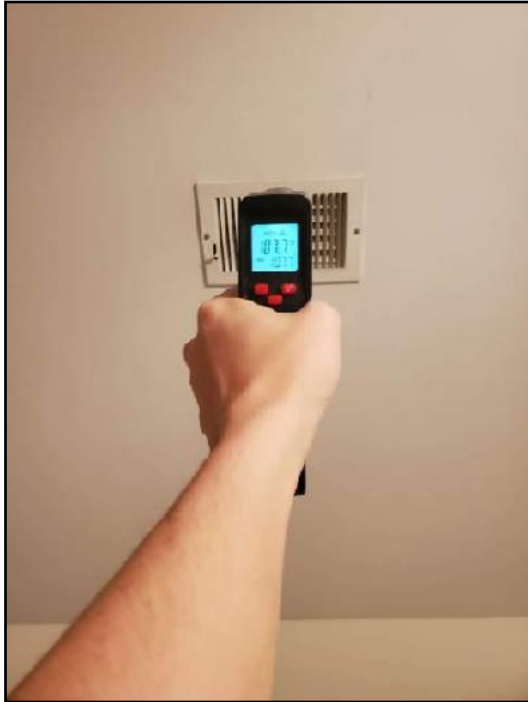
102. General Photos



103. General Photos

- Heating system type: • Electric Furnace Air handler
- Furnace air handler manufacturer: • US Alumacoil
- Approximate age: • [2 years](#)
- Typical life expectancy: • 12-15 years
- Failure probability: • [Low](#)
- Supply temperature: • 107°F - 110°F

SUMMARY O	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
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104.



105.



106.

Return temperature: • 76°F





107.

**Temperature difference:** • 31°F - 34°F**Air filter:** • Disposable

**Fireplace/stove:** • The inspector shall inspect: The fireplace, and open and close the damper door if readily accessible and operable. Hearth extensions and other permanently installed components. And report as in need of repair deficiencies in the lintel, hearth and material surrounding the fireplace, including clearance from combustible materials.

The inspector is not required to: Inspect the flue or vent system. Inspect the interior of chimneys or flues, fire doors or screens, seals or gaskets, or mantels. Determine the need for a chimney sweep. Operate gas fireplace inserts. Light pilot flames. Determine the appropriateness of such installation. Inspect automatic fuel feed devices. Inspect combustion and/or make-up air devices. Inspect heat distribution assists whether gravity controlled or fan assisted. Ignite or extinguish fires. Determine draft characteristics. Move fireplace inserts, stoves, or firebox contents. Determine adequacy of draft, perform a smoke test or dismantle or remove any component. Perform an NFPA inspection. Perform a Phase 1 fireplace and chimney inspection. • Excessive carbon monoxide ventilation or overheating of the unit will result from firing the gas higher than the input rate set by the manufacturer's specifications. This can be caused by high gas supply pressure, and incorrect orifice drill size done at the factory, or if the installer gives the customers unit a larger flame for aesthetic reasons. The gas fireplace is a ventless type. There should be a carbon monoxide detector present anytime this unit is operating. Also, the manufacturer's instructions should be read to determine what kind of fresh air requirements there are for this fireplace. Oftentimes there needs to be a window open or some other source of fresh air supplied while this Appliance is running. Never leave ventless fireplace on while sleeping. Always completely shut off gas at valve and turn pilot light off when exiting the room and not returning immediately. • [Gas fireplace](#)

**Condensate system:**

• Discharges to exterior

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108. Discharges to exterior

## Recommendations

### RATING/CONDITION \ Overall Condition

**45. Condition:** • Satisfactory - Unit is working properly at the time of Inspection. Heat pumps & furnace (air handle rs) have an estimated economical service life of 12 -15 years or more when maintained and serviced. The unit functioned normally during the inspection.

Adequate - Unit is working properly at the time of Inspection. However, due to the age of the unit it may need service and maintenance performed and it is recommended to have an HVAC technician to evaluate further prior to closing

Marginal - Unit is working properly at the time of Inspection. However, due to the age of the unit it may need service, maintenance and/or repairs performed and it is recommended to have an HVAC technician to evaluate further prior to closing

**46. Condition:** • SATISFACTORY -

2022 Model Unit is working properly at the time of Inspection. Heat pumps & furnace (air handle rs) have an estimated economical service life of 12 -15 years or more when maintained and serviced. The unit functioned normally during the inspection.

-

**Location:** Garage

**Task:** HVAC Technician - Service and clean

**Time:** Annually

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**RATING/CONDITION \ Annual Maintenance Program**

**47. Condition:** • An annual maintenance program is recommended for heating and cooling systems to optimize safety, efficiency, comfort and durability.

**FURNACE \ Air filter**

**48. Condition:** • Dirty or clogged. Recommend changing filters

**Implication(s):** Equipment ineffective | Increased heating costs | Reduced comfort | Increased maintenance costs

**Location:** Air Return Filter

**Task:** DIY - Replace

**Time:** When practical

**Cost:** Regular maintenance



**109.** *Dirty or clogged. Recommend changing filters*

**FURNACE \ Ducts, registers and grilles**

**49. Condition:** • Satisfactory

**FIREPLACE \ General Observations**

**50. Condition:** • General Photos





110. General Photos

**51. Condition:** • The gas fireplace is not equipped with a inline gas shut off valve or a wall mounted shut off valve.  
Possible safety hazard

**Location:** Living room fireplace

**Task:** Plumber or Fireplace Repair Professional

**Time:** As soon as possible

**Cost:** Depends on work needed



111.

SUMMARY O	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
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Limitations

Heat exchanger: • Only a small portion visible

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Description

General:

• The inspector shall inspect: the cooling system, using normal operating controls. The inspector shall describe; the location of the thermostat for the cooling system; and the cooling method; The inspector shall report as in need of correction: any cooling system that did not operate; and if the cooling system was deemed inaccessible.

The inspector is not required to: determine the uniformity, temperature, flow, balance, distribution, size, capacity, BTU, or supply adequacy of the cooling system; inspect portable window units, through-wall units, or electronic air filters; operate equipment or systems if the exterior temperature is below 65° Fahrenheit, or when other circumstances are not conducive to safe operation or may damage the equipment; inspect or determine thermostat calibration, cooling anticipation, or automatic setbacks or clocks: examine electrical current, coolant fluids or gases, or coolant leakage.

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## • General Photos

2022 Model



112. General Photos



113. General Photos

**Air conditioning type:** • Electric Split HVAC System**Manufacturer:** • Goodman**Cooling capacity:** • [2 Tons](#)**Compressor approximate age:** • 2 years**Typical life expectancy:** • 12 to 15 years**Failure probability:** • [Low](#)**Supply temperature:** • 54°F - 56°F

# COOLING & HEAT PUMP

Report No. 3105

Tallahassee, FL April 29, 2024

[www.boomgenhome.com](http://www.boomgenhome.com)

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114.



115.



116.

Return temperature: • 72°F

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117.

**Temperature difference across cooling coil:** • Acceptable temperature difference: 15° to 22° • This suggests good performance.

**Temperature difference across cooling coil:** • 16°F - 18°F

**Location of the thermostat for the cooling system:** • Hallway

Recommendations

**RATING/CONDITION \ Overall Condition**

**52. Condition:** • Satisfactory - Unit is working properly at the time of Inspection. Heat pumps & furnace (air handle rs) have an estimated economical service life of 12 -15 years or more when maintained and serviced. The unit functioned normally during the inspection.

Adequate - Unit is working properly at the time of Inspection. However, due to the age of the unit it may need service and maintenance performed and it is recommended to have an HVAC technician to evaluate further prior to closing

Marginal - Unit is working properly at the time of Inspection. However, due to the age of the unit it may need service, maintenance and/or repairs performed and it is recommended to have an HVAC technician to evaluate further prior to closing

**Implication(s):** Rating Scale

**53. Condition:** • SATISFACTORY -

-



# COOLING & HEAT PUMP

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2022 Model Unit is working properly at the time of Inspection. Heat pumps & furnace (air handle rs) have an estimated economical service life of 12 -15 years or more when maintained and serviced. The unit functioned normally during the inspection.

**Location:** Right Side Exterior

**Task:** HVAC Technician - Service and clean

**Time:** Annually

**Cost:** Regular maintenance item

## RATING/CONDITION \ Annual Maintenance Program

**54. Condition:** • An annual maintenance program is recommended for heating and cooling systems to optimize safety, efficiency, comfort and durability.

## CONDENSING UNIT SURGE PROTECTION BREAKER \ Max Breaker not be be Exceed

**55. Condition:** • Satisfactory

**56. Condition:** • Condenser Max  
15 AMP

**57. Condition:** • Breaker in Panel  
15 AMP

## AIR CONDITIONING \ Evaporator coil

**58. Condition:** • [No access to coil](#)

**Implication(s):** Difficult to service

## AIR CONDITIONING \ Condensate system

**59. Condition:** • Satisfactory

## AIR CONDITIONING \ Condensate drain line

**60. Condition:** • [Blocked or crimped](#)

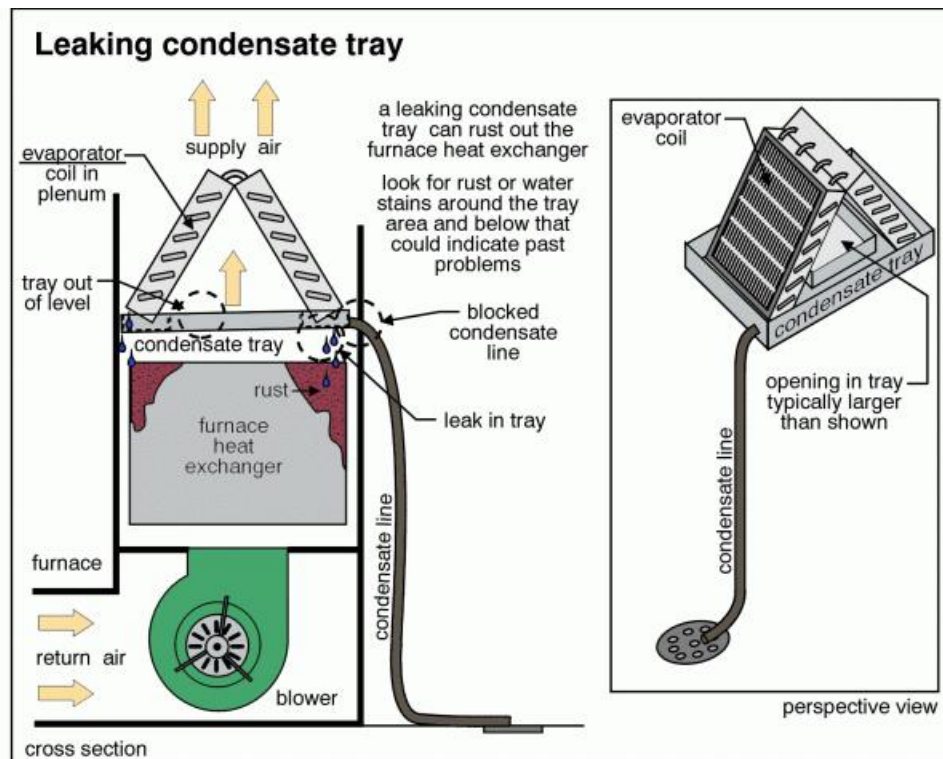
**Implication(s):** Chance of water damage to structure, finishes and contents | Damage to equipment

**Location:** Right Side Exterior

**Task:** HVAC Technician - Service/Clean/Treatment

**Time:** Next Annual Maintenance

SUMMARY O	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
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118. Blocked or crimped

## AIR CONDITIONING \ Refrigerant lines

61. Condition: • Satisfactory

# COOLING & HEAT PUMP

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119. Satisfactory

## AIR CONDITIONING \ Condenser fan

62. Condition: • Satisfactory

## Limitations

Inspection limited/prevented by: • N/A

Not included as part of a building inspection: • Cooling system adequacy • Cooling system distribution balance • Window cooling system • Heat gain or heat loss calculations



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### • Attic Photos



120. Attic Photos



121. Attic Photos

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122. Attic Photos

**Attic/roof insulation material:**

- Fiberglass



123. Fiberglass

**Attic/roof insulation amount/value:** • 9 inches

**Attic/roof ventilation:** • [Gable vent](#) • [Ridge vent](#)

**Wall insulation material:** • Not visible

**Wall insulation amount/value:** • Not determined



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## Recommendations

### ATTIC \ Roof Decking

**63. Condition:** • Satisfactory



**124.** Satisfactory



**125.** Satisfactory



**126.** Satisfactory



**127.** Satisfactory

### ATTIC/ROOF \ Insulation

**64. Condition:** • Satisfactory

### ATTIC/ROOF \ Roof ventilation

**65. Condition:** • Satisfactory

### ATTIC/ROOF \ AC Ductwork Condition

**66. Condition:** • Satisfactory

# INSULATION AND VENTILATION

██████████ Tallahassee, FL April 29, 2024

Report No. 3105

[www.boomgenhome.com](http://www.boomgenhome.com)

SUMMARY O	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
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## Limitations

**Attic inspection performed:** • By entering attic, but access was limited



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## Description

**General:** • The inspector shall inspect: the main water supply shut-off valve; the main fuel supply shut-off valve; the water heating equipment, including the energy source, venting connections, temperature/pressure-relief (TPR) valves, Watts 210 valves, and seismic bracing; interior water supply, including all fixtures and faucets, by running the water; all toilets for proper operation by flushing; all sinks, tubs and showers for functional drainage; the drain, waste and vent system; and drainage sump pumps with accessible floats. II. The inspector shall describe: whether the water supply is public or private based upon observed evidence; the location of the main water supply shut-off valve; the location of the main fuel supply shut-off valve; the location of any observed fuel-storage system; and the capacity of the water heating equipment, if labeled. III. The inspector shall report as in need of correction: deficiencies in the water supply by viewing the functional flow in two fixtures operated simultaneously; deficiencies in the installation of hot and cold water faucets; active plumbing water leaks that were observed during the inspection; and toilets that were damaged, had loose connections to the floor, were leaking, or had tank components that did not operate.

The inspector is not required to: light or ignite pilot flames. measure the capacity, temperature, age, life expectancy or adequacy of the water heater. inspect the interior of flues or chimneys, combustion air systems, water softener or filtering systems, well pumps or tanks, safety or shut-off valves, floor drains, lawn sprinkler systems, or fire sprinkler systems. determine the exact flow rate, volume, pressure, temperature or adequacy of the water supply. determine the water quality, potability or reliability of the water supply or source. open sealed plumbing access panels. inspect clothes washing machines or their connections. operate any valve. test shower pans, tub and shower surrounds or enclosures for leakage or for functional overflow protection. evaluate the compliance with conservation, energy or building standards, or the proper design or sizing of any water, waste or venting components, fixtures or piping. determine the effectiveness of anti-siphon, back-flow prevention or drain-stop devices. determine whether there are sufficient cleanouts for . effective cleaning of drains. evaluate fuel storage tanks or supply systems. inspect wastewater treatment systems. inspect water treatment systems or water filters. inspect water storage tanks, pressure pumps, or bladder tanks. evaluate wait time to obtain hot water at fixtures, or perform testing of any kind to water heater elements. evaluate or determine the adequacy of combustion air. test, operate, open or close: safety controls, manual stop valves, temperature/pressure-relief valves, control valves, or check valves. examine ancillary or auxiliary systems or components, such as, but not limited to, those related to solar water heating and hot water circulation. determine the existence or condition of polybutylene, polyethylene, or similar plastic piping. inspect or test for gas or fuel leaks, or indications thereof.

The plumbing section of a home inspection is a visual inspection only and any Water leaks from pipes behind or inside wall cavities cannot be inspected or predicted without a visual indication on the exterior components. Any leaks that develop after the inspection cannot be predicted in the future. The only additional inspection that could assist the buyer and obtaining additional perspectives would be to have a licensed plumber run a scope through all drains. The home inspection does not Express or imply or guarantee or warranties that any such leaks will not occur in the future

While the home inspection report is a comprehensive holistic report on the home systems, the inspection is not a technically exhaustive or intrusive inspection. Remember, this is not your home yet and removing, altering, and damaging areas for inspection purposes is not permitted, removing furniture is not permitted, removing floor covering is not permitted, removing appliances is not permitted. The home being occupied and completely or partially furnished will prevent some area and items from being inspected. The Items Listed On This Summary Are Not All Inclusive of The Entire Report, and additional deficiencies SHOULD BE expected. It Is Recommended That The Entire Report Be Reviewed And You Have The Appropriate Licensed Trade Services Professional Further Evaluate Each Defect And Or System In question to obtain quotes or cost that may affect your buying decision. To assist with identifying which professional repair services or trade service may be required, we have placed icons throughout the report where follow up should be considered **BEFORE CLOSING**.

SUMMARY O	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
SITE INFO	4-POINT CITIZ	WIND MITIGA	APPENDIX	REFERENCE					

It is the RESPONSIBILITY of the BUYER to seek out and request additional inspections from the best licensed contractors with the expertise in that specific trade practice. Home inspectors are licensed as only home inspectors and not licensed in the various trade professions. Home inspectors are to provide the buyer with guidance and advice to visual identify areas where further deliberation and or consideration as to where more specific trade expertise might be warranted or advisable. If you were to hire each system trade professional to perform individual system inspections, the cost for each tradesmen would well exceed \$1500 and scheduling all of these tradesmen would take the buyer well outside your 10-15 day inspection period. The Home inspection provides, a buyer at a reasonable price, a value and benefit for a more informed buying decision than the buyer would have had without a home inspection

**Water supply source (based on observed evidence):** • Public

**Service piping into building:** • [Not visible](#)

**Supply piping in building:**

• [Copper](#)



128. Copper



129. Copper



130. Copper



131. Copper

# PLUMBING

3153 S Fulmer Cir, Tallahassee, FL April 29, 2024

Report No. 3105

[www.boomgenhome.com](http://www.boomgenhome.com)

SUMMARY O

ROOFING

EXTERIOR

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HEATING

COOLING

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WIND MITIGA

APPENDIX

REFERENCE



132. Copper

- [Not visible](#)



133. Copper



134. Not visible

## Water heater type:

- General Photos
- 2023 Model



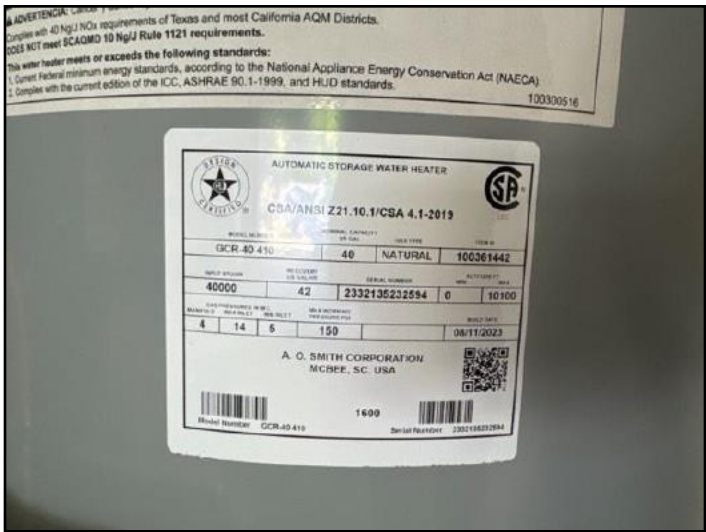
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135. General Photos



136. General Photos



137. General Photos

• Gas

Water heater location: • Garage

Water heater manufacturer: • A.O. Smith

Water heater tank capacity: • [40 gallons](#)

Water heater approximate age: • 1 year

Water heater typical life expectancy: • 10-12 years



SUMMARY O	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
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Water heater failure probability: • [Low](#)

Hot water temperature (Generally accepted safe temp. is 120° F):

- 120° F



138. 120° F



139. 120° F

Waste disposal system: • [Public](#)

Waste and vent piping in building:

- [PVC plastic](#)



140. PVC plastic



141. PVC plastic

SUMMARY O	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
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142. PVC plastic



143. PVC plastic

**Gas meter location:**

- Exterior right side



144. Exterior right side

**Main gas shut off valve location:** • Gas meter

## Recommendations

### RECOMMENDATIONS \ Overview

**67. Condition:** • Many plumbing fixtures may be expected to last 15 years or more, although faucets are often replaced every ten years.

### SUPPLY PLUMBING \ Hose Bibs & Water Pressure

**68. Condition:** • Satisfactory



**145. Satisfactory**

**69. Condition:** • Hose bibs not equipped with anti-siphon devices, possible cross connection can occur with anti-siphon device, recommend or safety precaution would be to have installed

**70. Condition:** • [Mechanical damage](#)

**Implication(s):** Chance of water damage to structure, finishes and contents | Leakage | System inoperative | No water

**Location:** Right side exterior

**Task:** Plumber - Handyman Professional - Repair or replace

**Time:** As soon as practical

**Cost:** Minor - Depends on approach



146. Mechanical damage

## SUPPLY PLUMBING \ Water main shut off valve

**71. Condition:** • [Missing or cannot be located](#)

**Implication(s):** Chance of water damage to structure, finishes and contents | Difficult to service

**Location:** Unknown

**Task:** Recommend locate

**Time:** As soon as practical

**Cost:** Regular maintenance item

## WATER HEATER \ Water heater condition

**72. Condition:** • Satisfactory - Water heaters have an estimated economical service life of or more when maintained and serviced. The unit functioned normally during the inspection. Any water heater older than 12 years of age should be considered marginal and budget to replace. The inspection of the water heater is a snapshot in time and even though the unit may be working properly at the time of inspection, can begin to fail and cease proper operation at any time.

Note: Some insurance companies are now requiring water heaters to have a collection pan installed underneath the water heater. Normally this is for units inside the home.

2023 Model

## WATER HEATER \ Life expectancy

**73. Condition:** • Low failure probability

## WATER HEATER - ELECTRIC \ Wiring

**74. Condition:** • Satisfactory



## WASTE PLUMBING \ Bathroom & Kitchen drains | Traps

**75. Condition:** • Leaking noted - recommend repair by a qualified professional

**Location:** Guest Bathroom

**Task:** Handyman/Plumber - Repair

**Time:** As soon as possible

**Cost:** Minor - Depends on work needed



147.

## WASTE PLUMBING \ Septic System Observations

**76. Condition:** • Noted the plumbing vent piping is broken in the attic. This condition is allowing water to leak in the attic. The vent pipe having water present could indicate a possible clogged drain condition.

**Location:** Attic over garage

**Task:** Plumber - Correct

**Time:** As soon as possible



148.



149.

**FIXTURES AND FAUCETS \ Bathroom & Kitchen Faucet****77. Condition:** • Satisfactory**FIXTURES AND FAUCETS \ Bathtub | Shower | Enclosure****78. Condition:** • Satisfactory**FIXTURES AND FAUCETS \ Toilet**

**79. Condition:** • The toilet in the bathroom is loosely attached at the connection of the bowl to the floor. This can allow leaks at or into the floor. We recommend removing the toilet, checking the floor flange, replacing the wax ring, and re-setting the toilet. The base of the toilet should be caulked around the perimeter at the oor to prevent slippage and damage to the wax ring that seals the toilet to the drain pipe.

\*\*

**Implication(s):** Chance of water damage to structure, finishes and contents | Sewage entering the building | Possible hidden damage

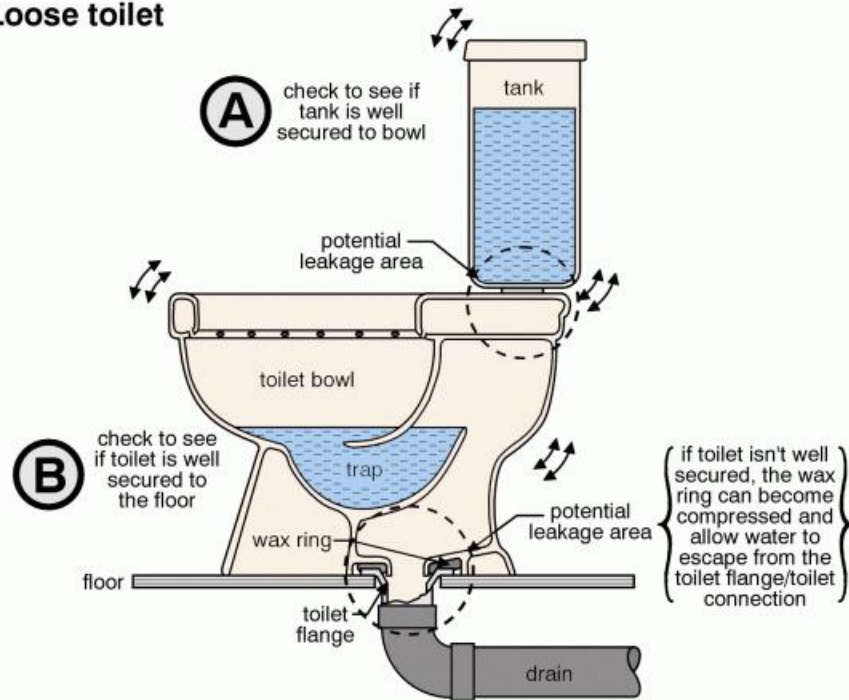
**Location:** Guest Bathroom

**Task:** Handyman Skill Level - Repair

**Time:** As soon as practical

**Cost:** Minor Depends on approach

## Loose toilet



## Limitations

**Items excluded from a building inspection:** • Well • Water quality • Septic system • Isolating/relief valves & main shut-off valve • Concealed plumbing • Tub/sink overflows • Water treatment equipment • Landscape irrigation system

SUMMARY O	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
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**Major floor finishes:** • [Carpet](#) • [Laminate](#) • Tile

**Major wall finishes:** • [Plaster/drywall](#)

**Major ceiling finishes:** • [Plaster/drywall](#)

**Major wall and ceiling finishes:** • [Plaster/drywall](#)

**Windows:** • [Single/double hung](#) • Metal-clad wood

**Glazing:** • [Double](#)

**Oven type:** • Conventional

**Oven/Range:** • Electricity • Gas

**Range fuel:** • Gas

**Appliances:** • Refrigerator • Range hood • Dishwasher • Waste disposal • Range • Wall Oven (or Oven)

**Laundry facilities:** • Dryer SAFETY: Clothes Dryer Fires- Facts and Stats Clothes dryers accounted for 92% of the fires; washing machines 4%, and washer and dryer combinations accounted for 5%. The leading factor contributing to the ignition of home fires involving clothes dryers was failure to clean, accounting for one-third (33%) of dryer fires. A mechanical or electrical failure or malfunction was involved in the vast majority of home fires involving washing machines. Fires involving clothes dryers usually started with the ignition of something that was being dried or was a byproduct (such as lint) of drying, while washing machine fires usually involved the ignition of some part of the appliance.

Safety Tip- Do not use the dryer without a lint filter. Make sure you clean the lint filter before or after each load of laundry. Remove lint that has collected around the drum. Rigid or flexible metal venting material



SUMMARY O	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
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should be used to sustain proper air flow and drying time. Make sure the air exhaust vent pipe is not restricted and the outdoor vent flap will open when the dryer is operating. Once a year, or more often if you notice that it is taking longer than normal for your clothes to dry, clean lint out of the vent pipe or have a dryer lint removal service do it for you. Keep dryers in good working order. Gas dryers should be inspected by a qualified professional to make sure that the gas line and connection are intact and free of leaks. Make sure the right plug and outlet are used and that the machine is connected properly. Follow the manufacturer s operating instructions and don t overload your dryer. Turn the dryer off if you leave home or when you you go to sleep. • Washer • Dryer • Hot/cold water supply • Vented to outside

**Kitchen ventilation:** • Range hood discharges to the exterior

**Bathroom ventilation:** • Exhaust fan • Window

**Laundry room ventilation:** • Clothes dryer vented to exterior

**Inventory Smoke Alarm:** • Recommend detectors in each bedroom & kitchen and carbon monoxide near garage. Smoke detectors may or may not be tested because it is important for any occupancy to test them before they move into a new home. Items functioning at the time of inspection does not guarantee items will function when the client moves in. Smoke detectors have an estimated service life of 10 years.

## Recommendations

### RECOMMENDATIONS \ General

**80. Condition:** • Primary bedroom



**150.** Primary bedroom

**81. Condition:** • Primary Bathroom



151. Primary Bathroom



152. Primary Bathroom

82. Condition: • Guest bedroom



153. Guest bedroom

83. Condition: • Guest bedroom



154. Guest bedroom

84. Condition: • Guest Bathroom



155. Guest Bathroom



156. Guest Bathroom

85. Condition: • Living Room



157. Living Room

86. Condition: • Dining Room



158. Dining Room

87. Condition: • Kitchen





159. Kitchen



160. Kitchen

## RECOMMENDATIONS \ Overview

88. Condition: • N/A

## CEILINGS \ General Condition

89. Condition: • Satisfactory

## CEILINGS \ General Observations

90. Condition: • Ceiling and walls constructed of sheetrock. Noted only typical cracks and sheetrock finishing. There is no noticeable vertical displacement or evidence of significant settlement. Expansion and contraction of the home during different times of the year can create typical cracks between seam ends around corners. The crack appears to be typical for this type of construction. Cracks should be sealed to prevent further issues. If cracking appears to worsen, then a structural professional should evaluate.

**Location:** Kitchen/Dining Room

**Task:** DIY/Handyman Skill Level - Repair/Seal

**Time:** Regular maintenance

**Cost:** Minor - Regular maintenance item



161. Ceiling and walls constructed of sheetrock....

**91. Condition:** • Stains on ceiling. NO moisture detected. Possible prior water leak. Recommend to Prime and paint to remove stains

**Implication(s):** Chance of water damage to structure, finishes and contents

**Location:** Garage

**Task:** Monitor

**Time:** When necessary



162. Stains on ceiling. NO moisture detected...



163. Stains on ceiling. NO moisture detected...

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## WALLS \ General Condition

92. Condition: • Satisfactory

## FLOORS \ General Condition

93. Condition: • Satisfactory

## WINDOWS \ General Condition

94. Condition: • Satisfactory

## WINDOWS \ Means of egress/escape

95. Condition: • Satisfactory

## DOORS \ General Condition

96. Condition: • Satisfactory

## DOORS \ Doors and frames Condition

97. Condition: • Satisfactory

## KITCHEN & BATHROOM \ Cabinets & Countertops

98. Condition: • Satisfactory

## EXHAUST FANS \ Bathroom & Kitchen

99. Condition: • Satisfactory

## APPLIANCES \ Refrigerator

100. Condition: • Satisfactory



164. Satisfactory



165. Satisfactory



166. Satisfactory

## APPLIANCES \ Oven

101. Condition: • Satisfactory



167. Satisfactory

## APPLIANCES \ Range

102. Condition: • Satisfactory





168. Satisfactory

## APPLIANCES \ Microwave oven

103. Condition: • None Apparent

## APPLIANCES \ Dishwasher

104. Condition: • Satisfactory



169. Satisfactory

## APPLIANCES \ Waste disposal

105. Condition: • Satisfactory

**APPLIANCES \ Washing machine**

**106. Condition:** • While the washing machine appears to be operational during the time of inspection, noted burning smell when testing and the drum would not spin after initial filling. Recommend follow-up with a qualified Appliance Repair professional for further evaluation and repair

**Location:** Laundry Area

**Task:** Appliance Repair Professional - Further evaluation Recommended

**Time:** As soon as practical/Before Using

**Cost:** Not determined - Depends on work needed



170.

**APPLIANCES \ Dryer**

**107. Condition:** • Working

**Limitations**

**Inspection limited/prevented by:** • Carpet

# SITE INFO

Report No. 3105

Tallahassee, FL April 29, 2024

[www.boomgenhome.com](http://www.boomgenhome.com)

SUMMARY O

ROOFING

EXTERIOR

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## Description

**Weather:** • Clear

**Occupancy:** • The home was vacant during the inspection.

**Utilities:** • Electricity • Gas • The water service is public. • All utilities were on during the inspection. • The plumbing waste disposal system is public.

**Approximate age of home:** • 30 to 35 years

**Approximate date of construction:** • 1993

**Approximate size of home:** • 1400 ft.<sup>2</sup>

**Building type:** • Detached home

**Number of stories:** • 1

**Number of bedrooms:** • 3

**Number of bathrooms:** • 2

**Garage, carport and outbuildings:** • Attached two-car garage

SUMMARY O	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
SITE INFO	4-POINT CITIZ	WIND MITIGA	APPENDIX	REFERENCE					

Description

Inspector Information: • John Kreiensiack • HI11039 • Home Inspector



WIND MITIGATION

Tallahassee, FL April 29, 2024

SUMMARY O	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
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Description

Inspector Info: • Jbk • HI11039

END OF REPORT

SUMMARY O	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
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# Boom-Gen Suggested Vendors



**HomeOwners  
Insurance**

Capital Risk Management  
John Peacock  
850-321-2198

**General  
Contractor**

John Burdge  
850-322-9796

Professional Contractor



**ARE (Arnold's  
Roofing  
Enterprises)**

Terry Arnold  
850-508-4685

**Tadlock  
Roofing**

(850) 877-5516



**The Jefferson's  
Home  
Improvements**

850-728-7464

SUMMARY O	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
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# Boom-Gen Suggested Vendors



Neil's Handyman  
Solutions

850-508-5959

## HVAC Services



Todd King HVAC  
Harrison 850-545-2754



Joshua Bogda  
Painting

850-607-4608

## Kitchen & Bath Remodeling



Kitchen Encounters -  
Liam Lyles  
850-386-6555



GT Electrical

850-421-9002

SUMMARY O

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# Boom-Gen Suggested Vendors



## Drywall & Plaster

Coastal Plaster & Repairs  
850-926-3660

## Pest Control

Truly Nolan Pest Control  
James 850-933-4764



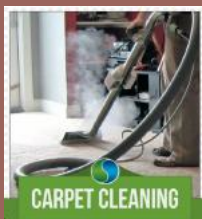
## Plumbing Services

Mainline Plumbing  
Jeff Jessup 850-567-6115

Rooter Plumbing  
Service. 850-417-0503

## Window & Door Repair

Action window repair.  
850-408-3103



## Carpet Cleaning

Main Cleaning Solutions.  
850-728-4284  
Quality Carpet Cleaning  
850-566-0383



SUMMARY O	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
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# Boom-Gen Suggested Vendors



## Tile Repair & Restoration

Samantha's Tile  
850-766-6278

Disclaimer - Vendors are provided only as a courtesy in effort to direct homeowners to reputable trade professionals who demonstrated and conduct their business in an honest and professional manner.

Boom-Gen Home Inspections strongly recommends each homeowner to conduct their own research and due diligence before selecting any trade professional and obtain quotes from various companies before hiring any trade professional. YOU SHOULD INTERVIEW ALL CONTRACTORS BEFORE HIRING, VALIDATE LICENSE & INSURANCE.

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# Boom-Gen Suggested Vendors



## HomeOwners Insurance

Capital Risk Management  
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850-321-2198

## General Contractor

John Burdge  
850-322-9796

### Professional Contractor



### Roofing Professional



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(850) 877-5516

### Roofing Professional



## The Jefferson's Home Improvements

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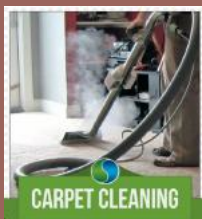
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The links below connect you to a series of documents that will help you understand your home and how it works. These are in addition to links attached to specific items in the report.

Click on any link to read about that system.

» 01. ROOFING, FLASHINGS AND CHIMNEYS

» 02. EXTERIOR

» 03. STRUCTURE

» 04. ELECTRICAL

» 05. HEATING

» 06. COOLING/HEAT PUMPS

» 07. INSULATION

» 08. PLUMBING

» 09. INTERIOR

» 10. APPLIANCES

» 11. LIFE CYCLES AND COSTS

» 12. SUPPLEMENTARY

Asbestos

Radon

Urea Formaldehyde Foam Insulation (UFFI)

Lead

Carbon Monoxide

Mold

Household Pests

Termites and Carpenter Ants

» 13. HOME SET-UP AND MAINTENANCE

» 14. MORE ABOUT HOME INSPECTIONS